

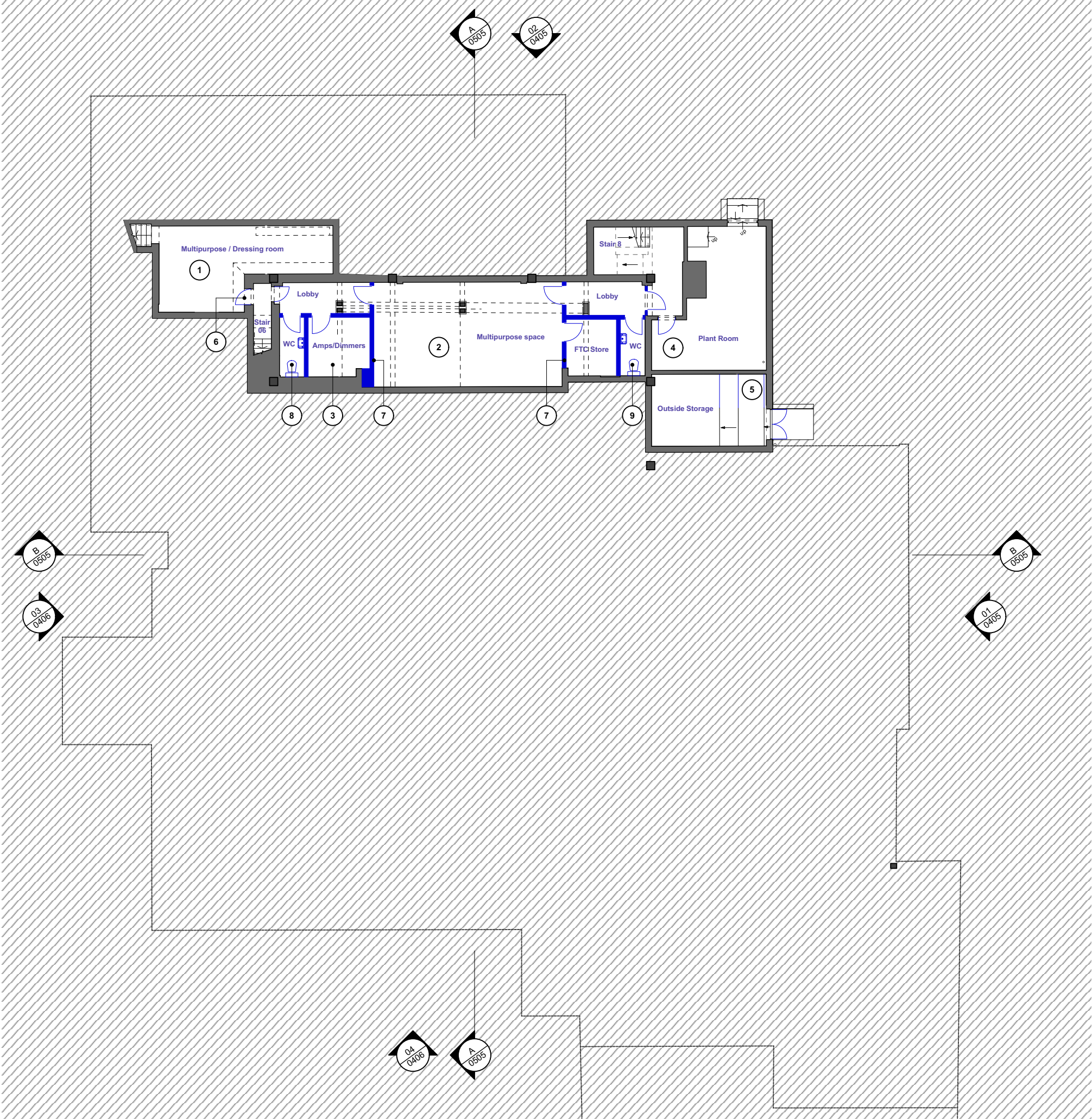
Appendix B: Architectural Drawings

Floor finishes and ceilings replaced throughout. All internal walls redecorated. All sanitaryware replaced. All windows replaced. All internal and external doors replaced subject to fire strategy. In instances where the layout is unchanged, new doors are to fit within existing structural openings.

The thicknesses of new walls are generally slightly oversized on this drawing to allow for tolerance at this early space planning stage.

- New elements
- Existing building fabric

1. Multipurpose space - sometimes used as a dressing room or as an informal media suite (digital connectivity to be provided for this purpose).
2. Multipurpose space / workshop / chorus room (no more than 60 people due to inward opening doors).
3. New amps/dimmers/comms room (with cooling).
4. Fire consultant to advise whether the existing plant room needs to be lobbied.
5. Market square WC removed. Staff bike rack incorporated in the space gained.
6. Fire curtain could be installed over door opening here if required - fire consultant to advise (as a lobby here would encroach into the usable space).
7. New partitions.
8. New WCs supporting the multipurpose spaces.
- IN ABEYANCE SUBJECT TO INVESTIGATION OF DRAINAGE OPTIONS.



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P5	Client comments incorporated	LK / HG	11/06/2025
P4	WIP issue in powerpoint to FTC	LK / HG	15/05/2025
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FOR:
Fleet Town Council

AT:
236 Fleet Rd, Fleet GU51 4BY

DRAWING TITLE:
Proposed Basement Plan - Option 1

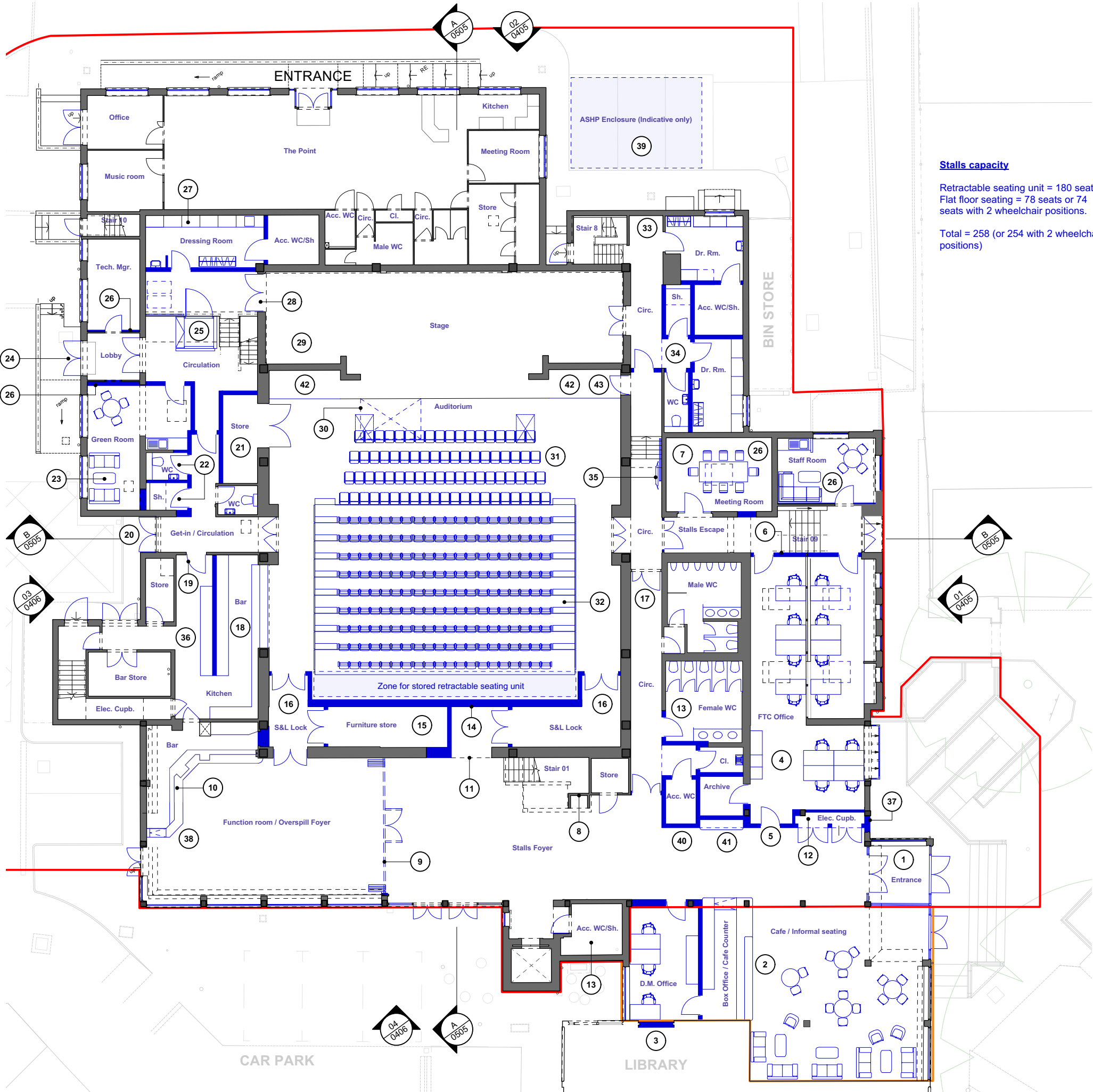
DATE: 28/04/2025	SCALE: 1:200@A3	CHECKED BY: HG
JOB NO: 1668	DRAWN BY: LK	
DWG NO. (JOB-ORIG-BLDG-LVL-TYPE-ROLE-SHEET NO.-OP.-REV.) ZZ-B1-DR-A-0200-OPT 1		-P6
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Floor finishes and ceilings replaced throughout. All internal walls redecorated. All sanitaryware replaced. All windows replaced. All internal and external doors replaced subject to fire strategy. In instances where the layout is unchanged, new doors are to fit within existing structural openings.

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- New elements
- Existing building fabric

- New entrance lobby with powered door for improved accessibility and environmental control. Adjacent unlobbied door intended as exit only (for escape).
- Combined box office / informal cafe counter. The box office also acts as a reception desk for visitors to the FTC offices. Library link closed off.
- Office space opened up and reconfigured. 2 no. extra rooflights added.
- New FOH entrance to FTC office. Glazed door for visual connection with the box office.
- New wall to separate the escape route from the offices.
- New meeting room with new rooflight above.
- Water bottle filling station added in the existing recess.
- Folding wall (fully or partially glazed). Acoustic rating TBC.
- Bar counter retained but refurbished with new frontage (including integrated lighting) and countertop. Back bar display / rear counter also refurbished.
- Wall opening position modified.
- Services cupboard relocated.
- Male & Female FOH WCs are fully refurbished (including new sanitaryware, cubicles, vanity units, ceilings and wall/floor finishes) but the layout is unchanged to make use of existing drainage.
- Wall rebuilt to incorporate structural columns supporting the new balcony above.
- Furniture store relocated.
- Sound & light locks introduced for improved acoustic separation from foyer.
- Pass door between FOH / BOH.
- Auditorium bar for use during standing gigs. Acoustic roller shutter closed for more acoustically sensitive performances.
- New door from kitchen.
- Existing get-in route retained.
- Seat store relocated to provide direct access from the auditorium.
- Accessible WC replaced by an individual WC and an individual shower (wet room).
- New green room with tea point. An opening (approx. 2.5m wide) is made in the existing wall.
- Stage Door.
- New platform lift to provide wheelchair access to stage level and to the new accessible dressing room.
- New linings to existing walls for improved acoustic performance. Ensure walls continue to soffit level.
- New 5-person dressing room with accessible WC/shower room. Existing rooflight boarded over.
- New door upstage right.
- Existing on-stage stair removed.
- New lifting platform within existing pit - to assist with raising flight cases and equipment to stage level.
- Loose (linkable) seating on flat floor to front 4 rows. These chairs can also be used to form part of the cabaret seating provision.
- New powered retractable seating unit.
- Kitchenette removed (wheelchair refuge).
- Dressing rooms & associated sanitary facilities reconfigured. The WC and shower open off the corridor so that they can also be used by staff.
- New wheelchair platform stairlift (to replace existing chairlift) subject to agreement with fire consultant. Door relocated to top of stair.
- Kitchen layout rearrangement (extent TBC).
- Existing door opening infilled.
- Store removed and end of bar counter remodelled accordingly.
- Indicative air source heat pump enclosure.
- Accessible WC reconfigured to accommodate archive alongside (accessed from the office).
- Built-in banquette seat for visitors waiting to go into the FTC office.
- Stage front extended to side walls (with possible integration of storage) to work with side wheelchair plinth in the standing gig format.
- New door onto stage front.



Stalls capacity

Retractable seating unit = 180 seats
Flat floor seating = 78 seats or 74 seats with 2 wheelchair positions.

Total = 258 (or 254 with 2 wheelchair positions)

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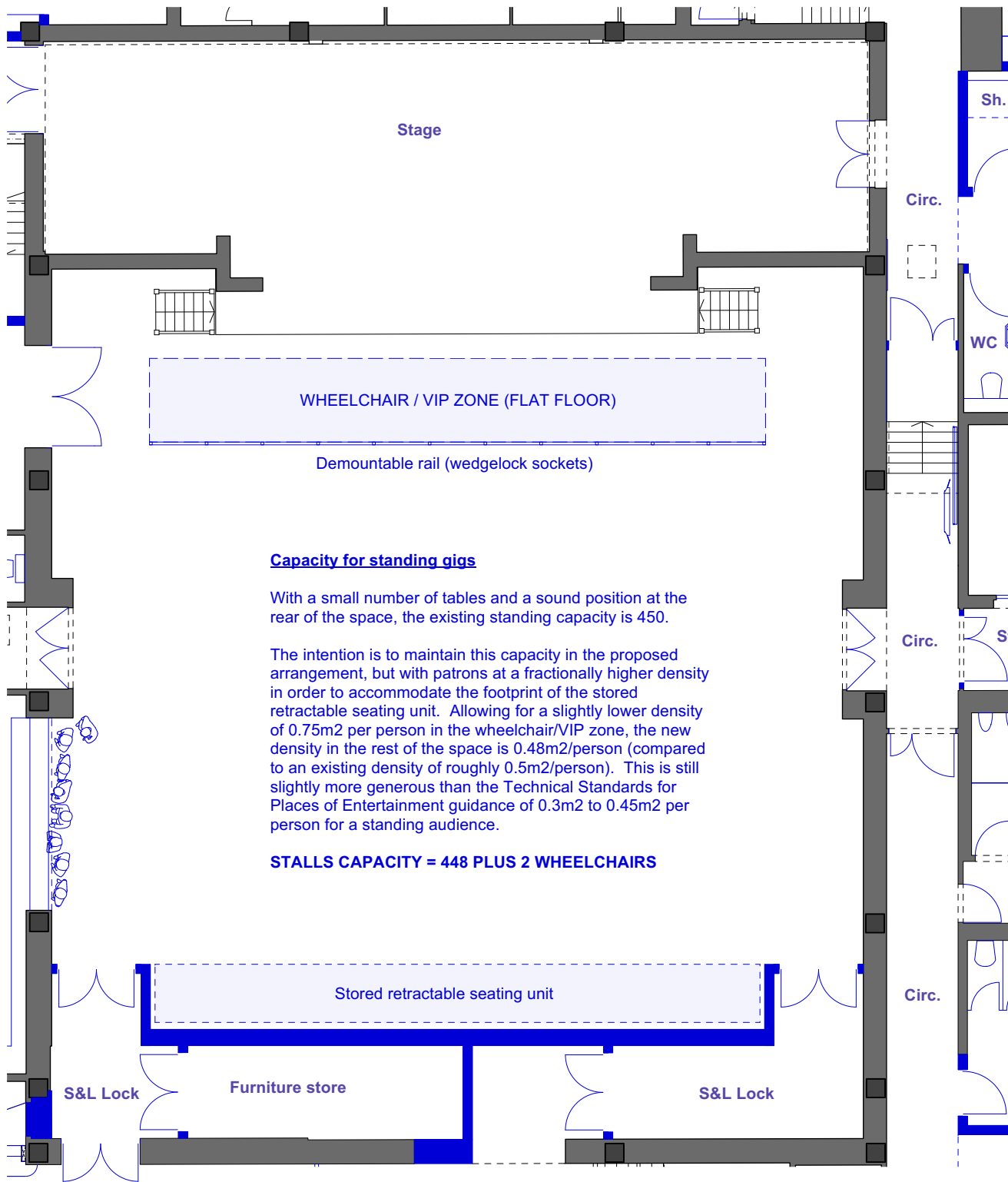
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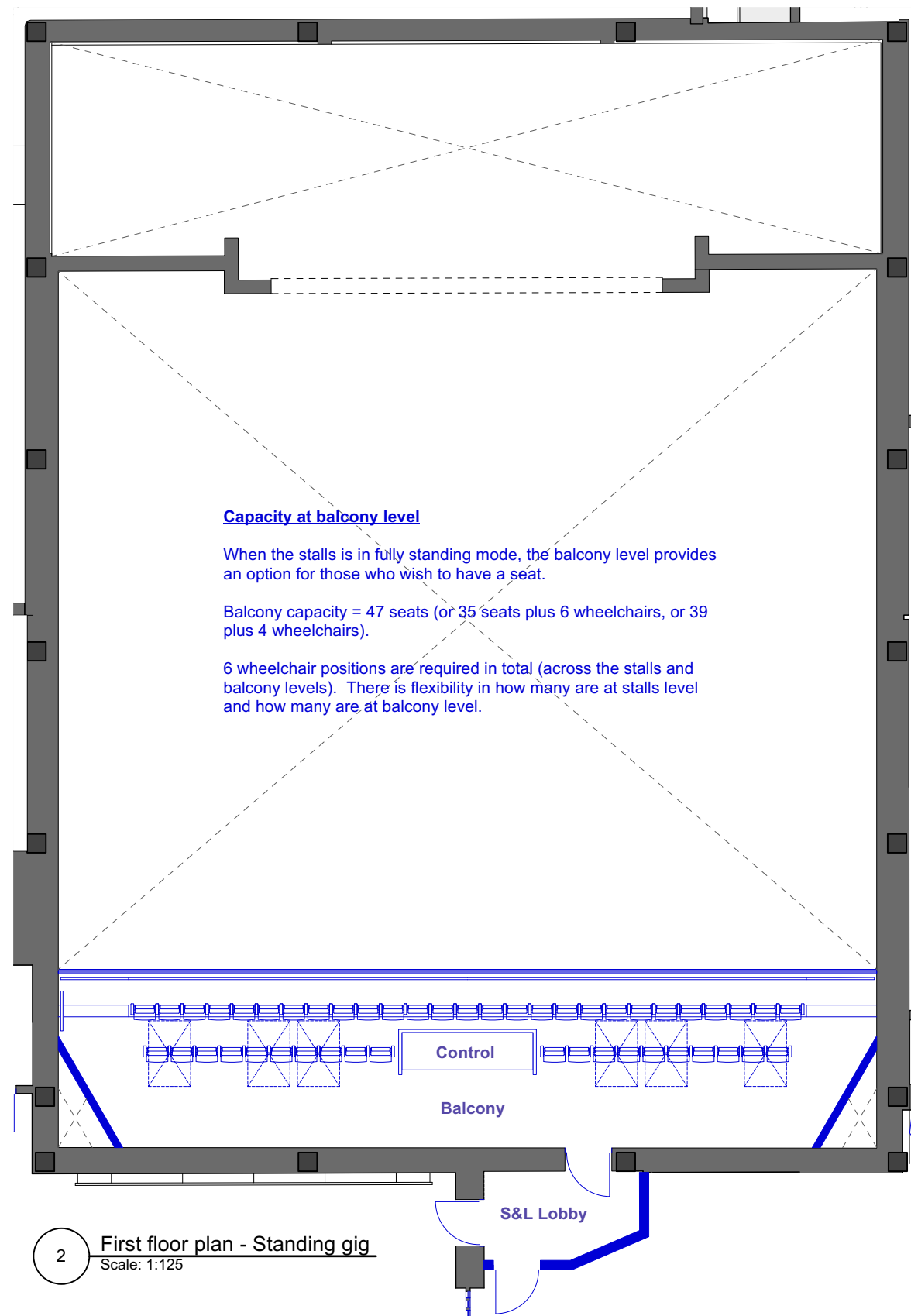
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DRAWING TITLE:
Proposed Ground Floor Plan - Option 1

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1 Ground floor plan - Standing gig
Scale: 1:125



2 First floor plan - Standing gig
Scale: 1:125

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TOTAL CAPACITY = 487 PLUS 6 WHEELCHAIRS.

This assumes 2 wheelchair positions at stalls level and 4 at balcony level.

Capacity at balcony level

When the stalls is in fully standing mode, the balcony level provides an option for those who wish to have a seat.

Balcony capacity = 47 seats (or 35 seats plus 6 wheelchairs, or 39 plus 4 wheelchairs).

6 wheelchair positions are required in total (across the stalls and balcony levels). There is flexibility in how many are at stalls level and how many are at balcony level.

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P2 Client comments incorporated LK / HG 11/06/2025
P1 WIP issue in powerpoint to FTC LK / HG 15/05/2025
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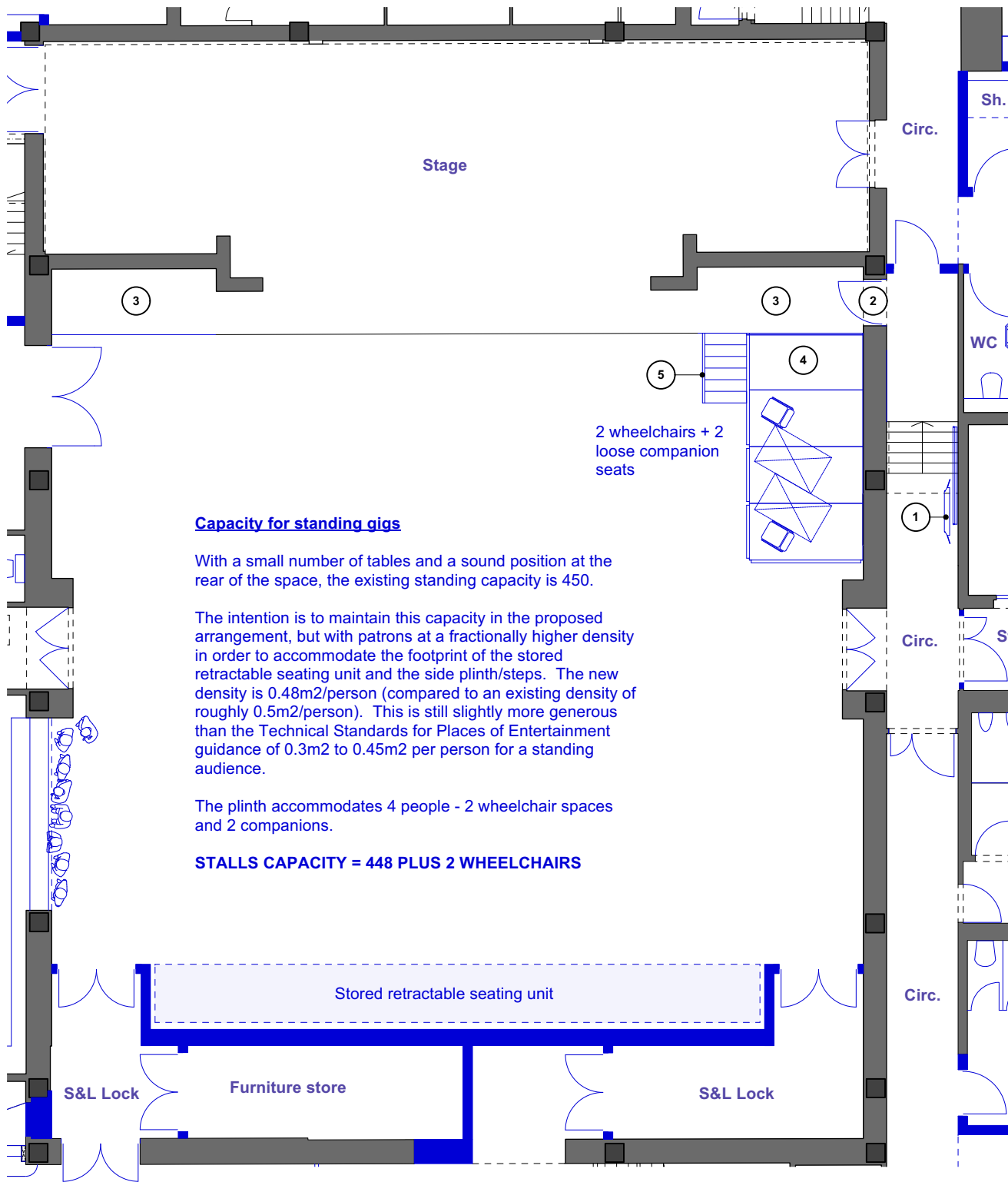
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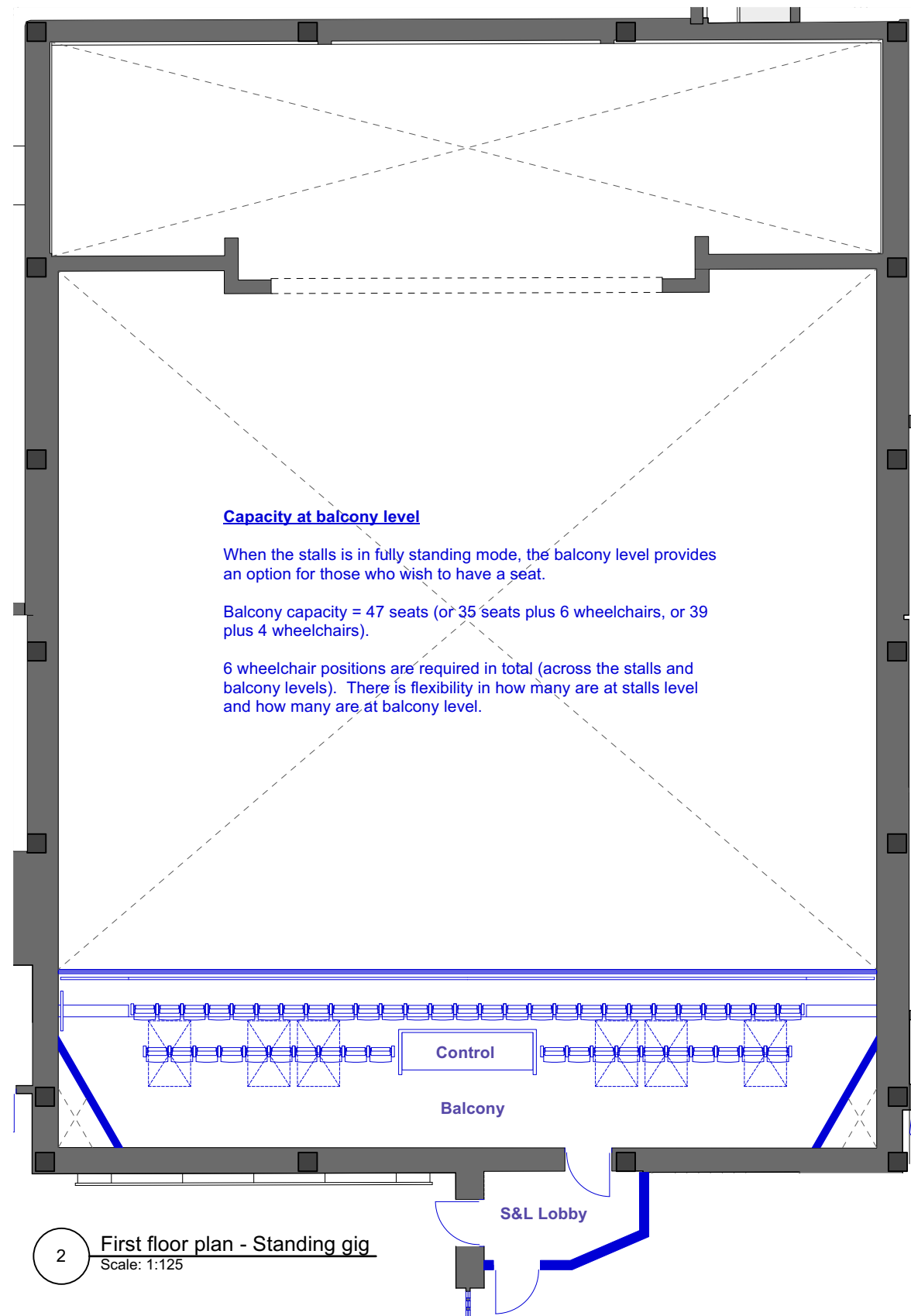
DRAWING TITLE:
Option 1 - Standing gig - Version A

DATE: 28/04/2025	SCALE: 1:125@A3
JOB NO: 1668	CHECKED BY: HG
DWG NO. (JOB-ORG-BLDG-LVL-TYPE-ROLE-SHEET NO.) (OP-REV) ZZ-ZZ-DR-A-0206-OPT 1(A) -P3	
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1 Ground floor plan - Standing gig
Scale: 1:125

1. New wheelchair platform stairlift
2. New door at stage level
3. New permanent platform level with stage (potentially incorporating storage underneath)
4. Demountable wheelchair platform set up for standing gigs (4 no. 8ft x 4ft steeldeck panels with demountable rails)
5. Movable stair unit



2 First floor plan - Standing gig
Scale: 1:125

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TOTAL CAPACITY = 487 PLUS 6 WHEELCHAIRS.

This assumes 2 wheelchair positions at stalls level and 4 at balcony level.

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P2	Client comment incorporated	LK / HG	11/06/2025
P1	WIP issue in powerpoint to FTC	LK / HG	15/05/2025
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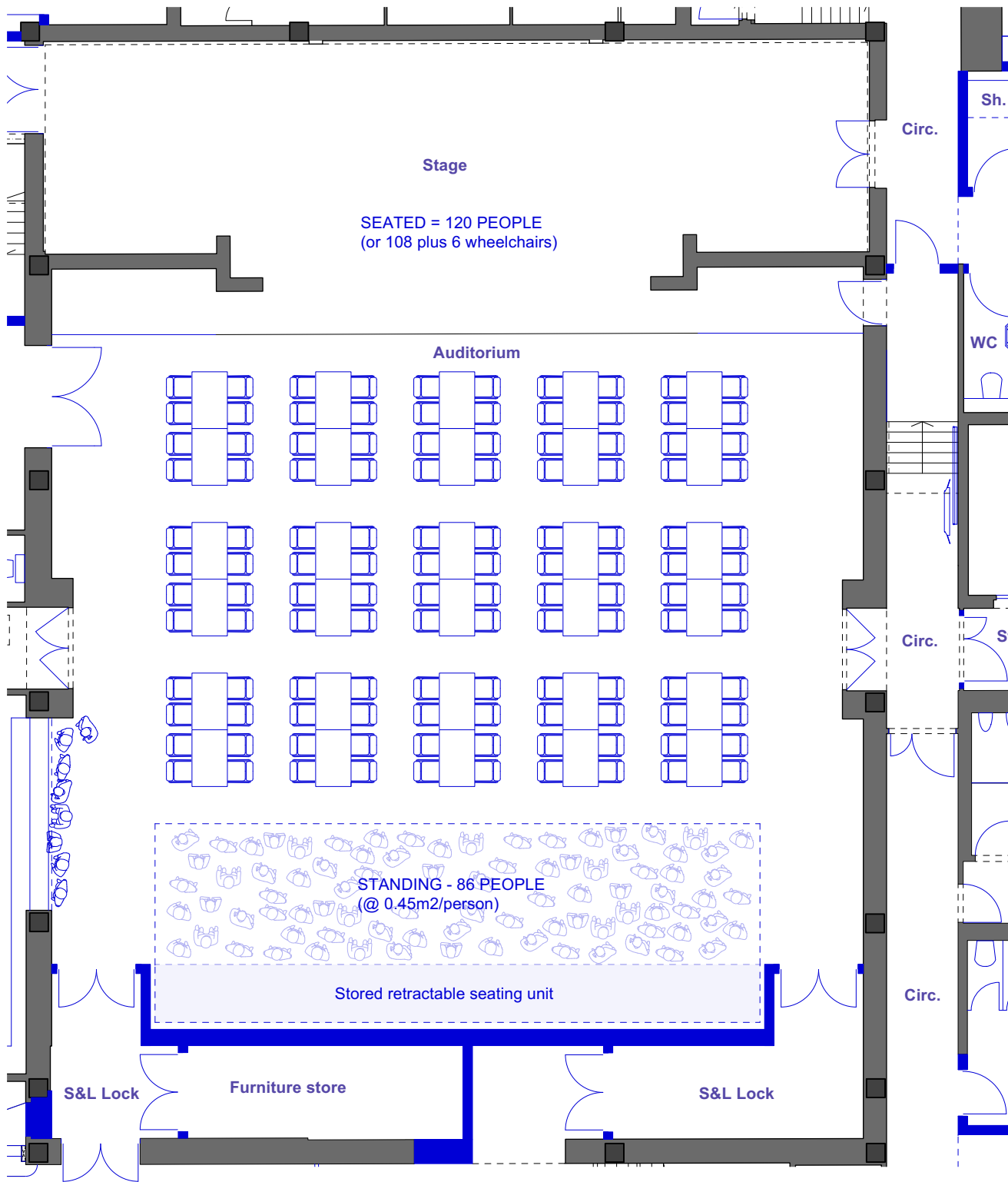
FOR:
Fleet Town Council

AT:
236 Fleet Rd, Fleet GU51 4BY

DRAWING TITLE:
Option 1 - Standing gig - Version B

DATE: 28/04/2025	SCALE: 1:125@A3	CHECKED BY: HG
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DWG NO.: (JOB-ORIG-BLDG-LVL-TYPE-ROLE-SHEET NO. (OP. REV.) ZZ-ZZ-DR-A-0206-OPT 1(B)		-P3

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1

Ground floor plan - Cabaret format
Scale: 1:125

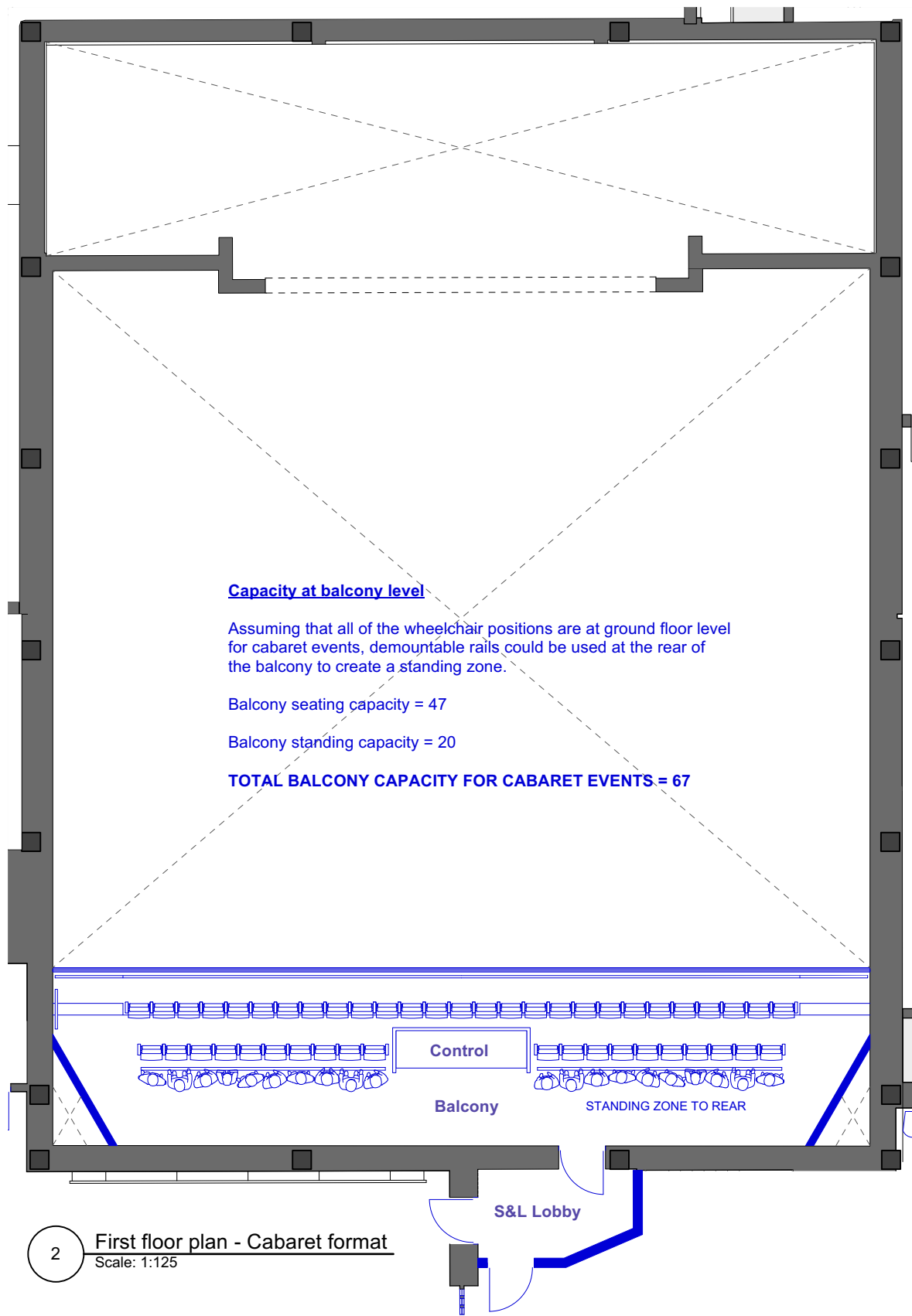
Assumptions:

500mm seats without armrests (i.e. slightly wider than the existing seats in order to double up as more comfortable seating when in end stage format).

550mm from table edge to back of chair and 800mm walking space between backrests / table ends.

8-person tables only to maximise capacity. These are drawn as pairs of 4ft x 2.5ft tables based upon existing table sizes (but fractionally wider tables may be more comfortable - a review of the table leg positions will be required in relation to the slightly wider seats).

A relatively densely populated standing area (rather than more spaced out with poseur tables).



2

First floor plan - Cabaret format
Scale: 1:125

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TOTAL CAPACITY = 273 (OR 261 PLUS 6 WHEELCHAIRS)

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DRAWING TITLE:
Option 1 - Cabaret format

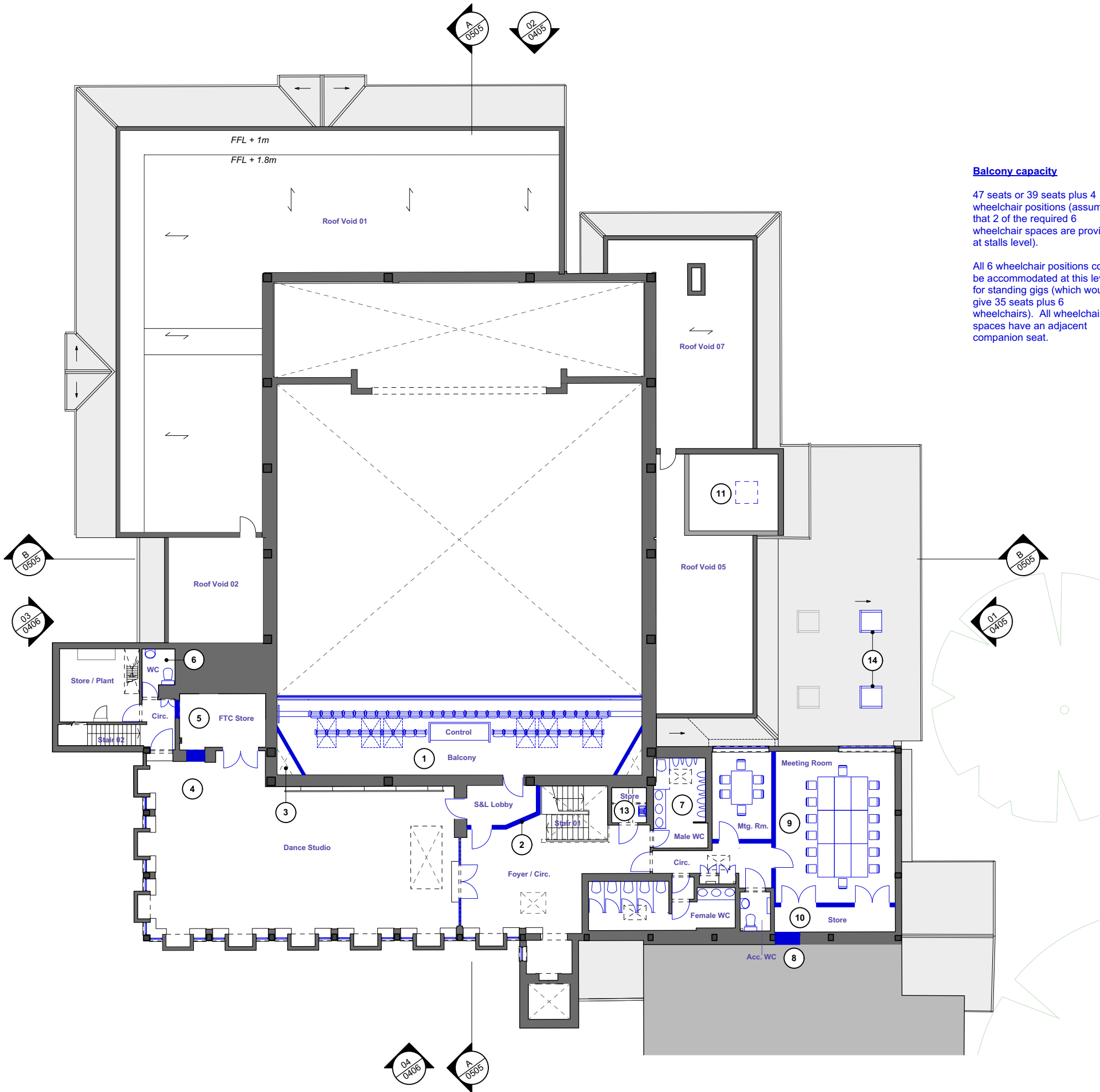
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The thicknesses of new walls are generally slightly oversized on this drawing to allow for tolerance at this early space planning stage.

- New elements
- Existing building fabric

1. New balcony accommodating audience seating (including wheelchair positions) and an open control booth.
2. New sound / light / fire lobby. Secondary escape from the auditorium is provided via the Dance Studio in the event of a fire in the foyer.
3. Ventilation risers feed supply air into ceiling void plenum below.
4. Bar counter removed
5. New store in former kitchen. Mobile bar counter within store. Allow for power and data to set counter up within Dance Studio. New double doors enable counter to be wheeled out easily.
6. WC dividing wall removed. The fixtures remain in their existing positions (but the sanitaryware is replaced).
7. All FOH WCs are fully refurbished (including new sanitaryware, cubicles, vanity units, ceilings and wall/floor finishes) but the layout is unchanged to make use of existing drainage.
8. Library link closed off.
9. Meeting room walls rebuilt to create more usefully sized / proportioned spaces.
10. New store, enabling flexible use of the large meeting room.
11. New rooflight above (to meeting room).
12. Existing Dance Studio screen retained but redecorated
13. Former archive repurposed as general store / cleaner's cupboard.
14. 2 new rooflights over the FTC offices.



Balcony capacity

47 seats or 39 seats plus 4 wheelchair positions (assuming that 2 of the required 6 wheelchair spaces are provided at stalls level).

All 6 wheelchair positions could be accommodated at this level for standing gigs (which would give 35 seats plus 6 wheelchairs). All wheelchair spaces have an adjacent companion seat.

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DRAWING TITLE:
Proposed First Floor Plan - Option 1

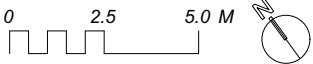
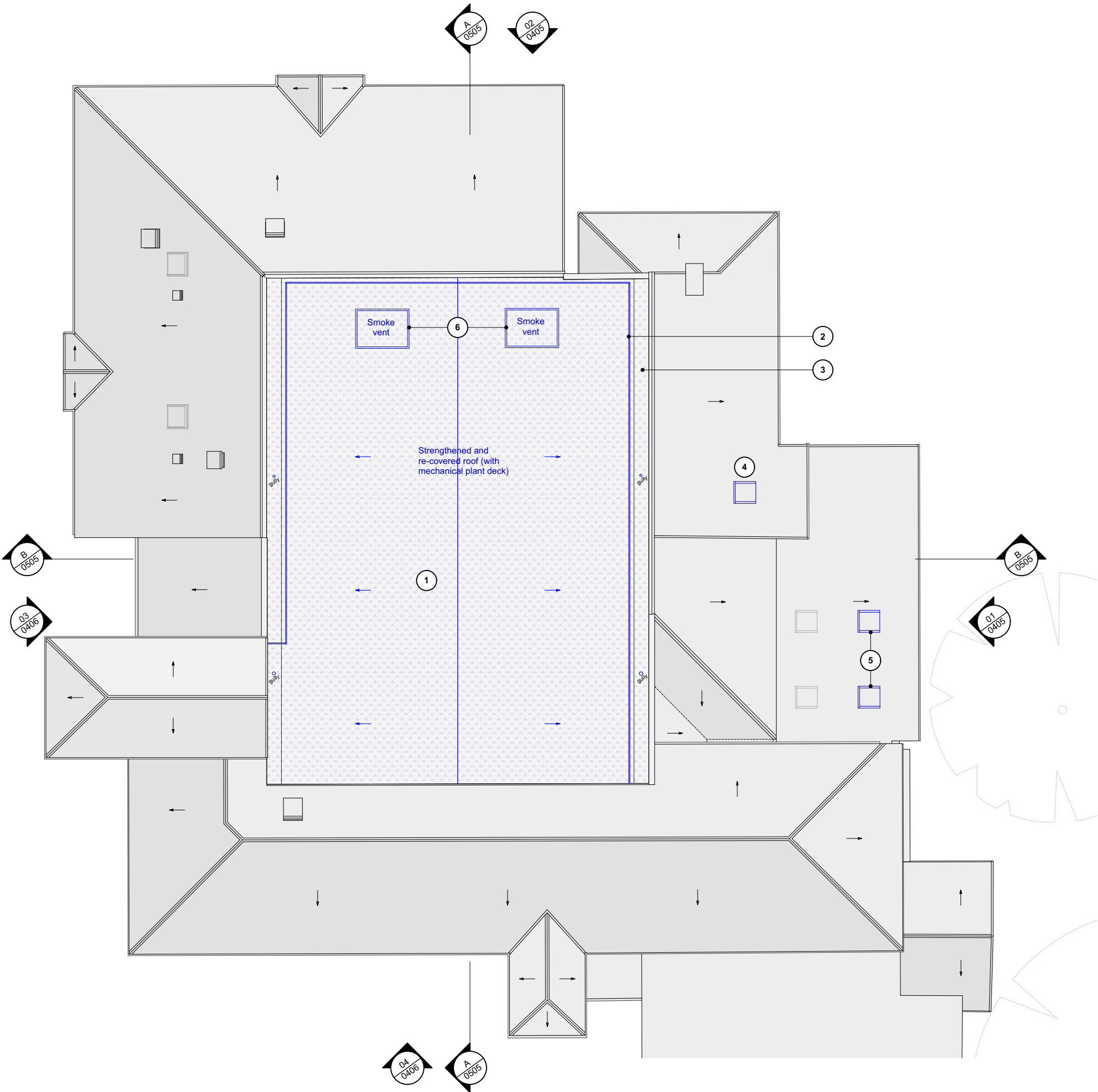
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- New elements
- Existing building fabric

1. New insulated build-up on new roof deck. Existing primary roof structure retained and strengthened. Roof joists replaced. New rooftop mechanical plant (on plant deck or big feet as required) to M&E consultant's layout.
2. Safety guard rails for maintenance access to roof.
3. New drainage channels and gullies into existing downpipes.
4. New rooflight to meeting room.
5. 2 new rooflights to FTC offices.
6. Assumed replacement of smoke vents over stage.



1 Proposed Roof Plan
Scale: 1:200

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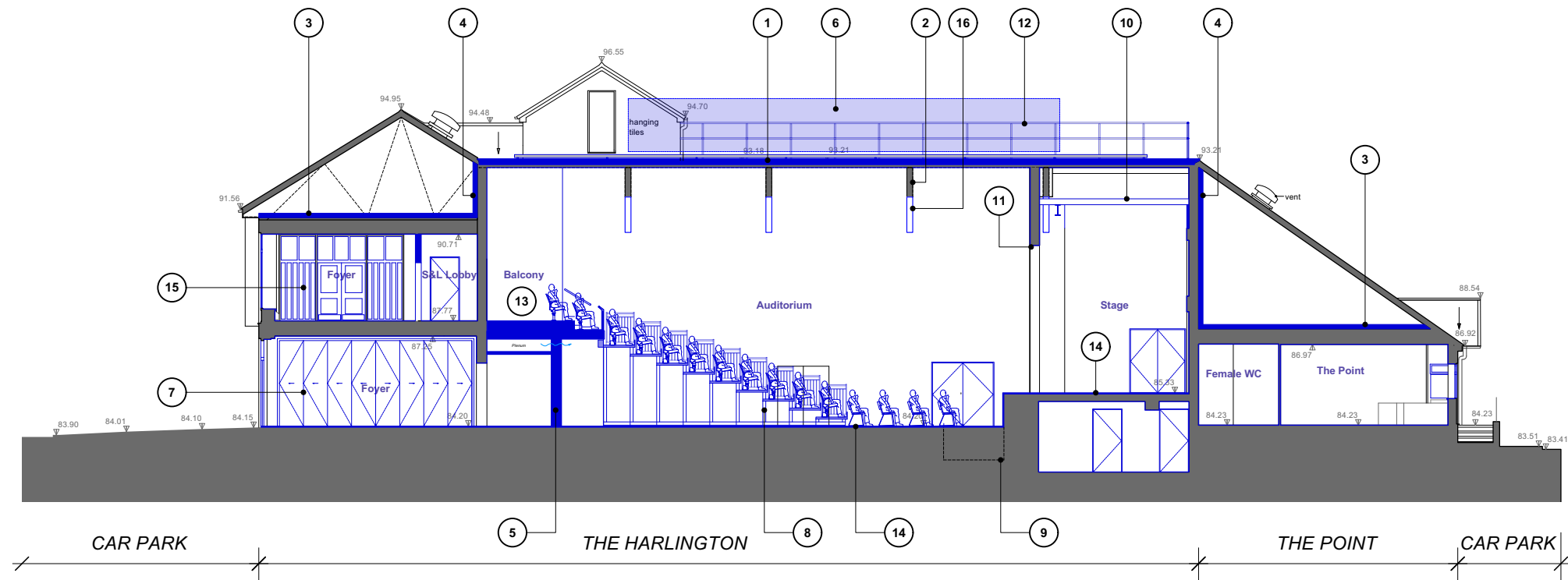
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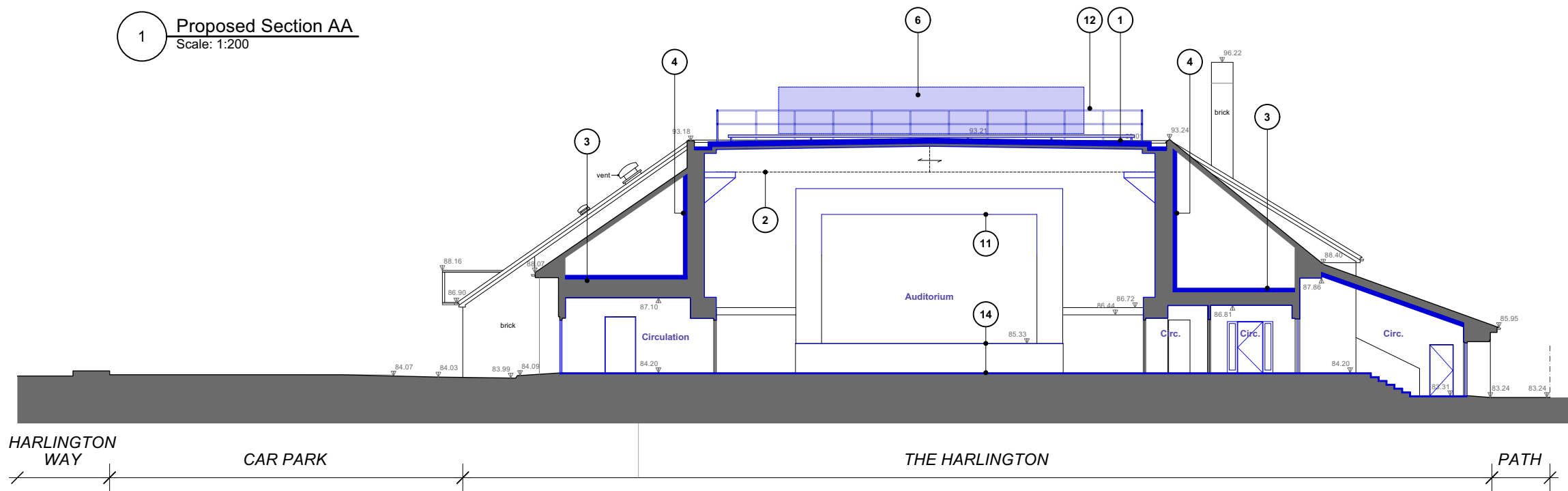
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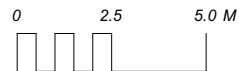
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1 Proposed Section AA
Scale: 1:200



2 Proposed Section BB
Scale: 1:200



■ New elements
■ Existing building fabric

KEY

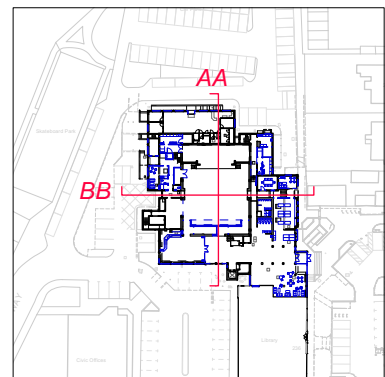
1. New insulation layer on new roof deck.
2. Strengthening works to existing roof structure TBC by SE.
3. New insulation within roof void. Ceiling below replaced.
4. New insulation layer to existing auditorium walls to enhance acoustics and thermal efficiency.
5. Wall rebuilt to incorporate structural columns supporting the new balcony above.
6. Indicative new plant equipment on plant deck.
7. Indicative folding wall (fully or partially glazed). Acoustic rating TBC.
8. Retractable seating unit with linked flat floor seating in front.
9. Existing pit - extent TBC.
10. Existing steel rigging grillage retained and raised in accordance with new proscenium level. Achievable level of new steelwork level to be investigated.
11. Height of existing proscenium opening increased
12. Safety guard rails for maintenance access to roof.
13. New balcony accommodating audience seating (including wheelchair positions) and an open control booth.
14. New multi-purpose auditorium and stage flooring.
15. Dance studio screen retained but redecorated.
16. New structural supports to existing Glulam beams.

NOTES

Finishes and ceilings replaced throughout. All internal walls redecorated. All sanitaryware replaced.

All windows replaced. All internal and external doors replaced. In instances where the layout is unchanged, new doors are to fit within existing structural openings.

The thicknesses of new walls are generally slightly oversized on this drawing to allow for tolerance at this early space planning stage.



3 Key Plan
Scale: NTS

P4	Issued for feasibility study	LK / HG	20/06/2025
P3	WIP issue in powerpoint to FTC	LK / HG	15/05/2025
P2	WIP issue for DTM 04	CR/LK	08/05/2025
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JOB:
Harlington Fleet

FOR:
Fleet Town Council

AT:
236 Fleet Rd, Fleet GU51 4BY

DRAWING TITLE:
Proposed Sections AA & BB - Option 1

DATE: 17/03/2025	SCALE: 1:200@A3	CHECKED BY: NP
JOB NO: 1668	DRAWN BY: CR	
DWG NO. (JOB-ORIG-BLDG-LVL-TYPE-ROLE-SHEET NO.-GP-REV.) ZZ-ZZ-DR-A-0505-OPT 1		-P4
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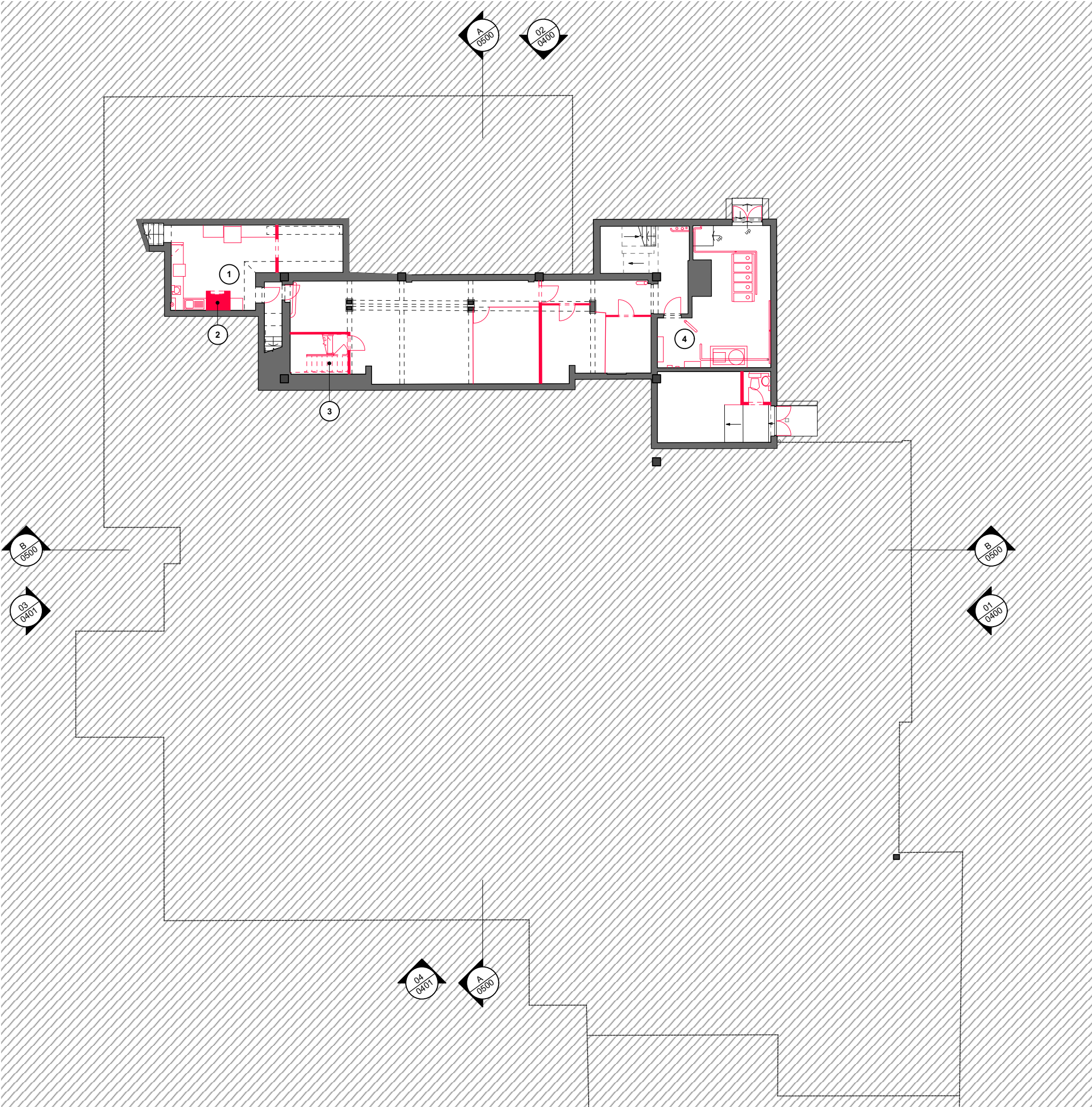
KEY

- Demolition of existing building fabric
- Retained existing building fabric
- Removal of existing flat roof covering
- Demolition of roof and associated structure

Floor finishes removed throughout. Ceilings removed throughout. Wall finishes stripped back (for redecoration). All sanitaryware removed (unless noted otherwise). All windows and doors (both internal and external) to be removed. All radiators removed.

Walls highlighted in red are fully removed (floor to soffit) unless the drawing specifically notes a door opening or a wall opening. Where windows and doors are removed, the structural opening is unchanged unless noted otherwise.

1. Kitchen fixtures removed.
2. Dumb waiter removed.
3. Stair removed.
4. Stripout of existing boilers and redundant services (refer to MEP package for details) and separation of Harlington & Library heating systems.



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P2	For feasibility study	LKHG	20/06/2025
P1	FIRST ISSUE: ISSUED FOR DESIGN TEAM COORDINATION	CR/LK	29/04/2025
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FOR:
Fleet Town Council

AT:
236 Fleet Rd, Fleet GU51 4BY

DRAWING TITLE:
Demolition Basement Plan - Option 1

DATE: 17/03/2025	SCALE: 1:200@A3	CHECKED BY: NP
JOB NO: 1668	DRAWN BY: CR	
DWG NO. (JOB-ORIG-BLDG-LVL-TYPE-ROLE-SHEET NO.-OP.-REV.) ZZ-B1-DR-A-0210-OPT 1		-P2
Copyright		

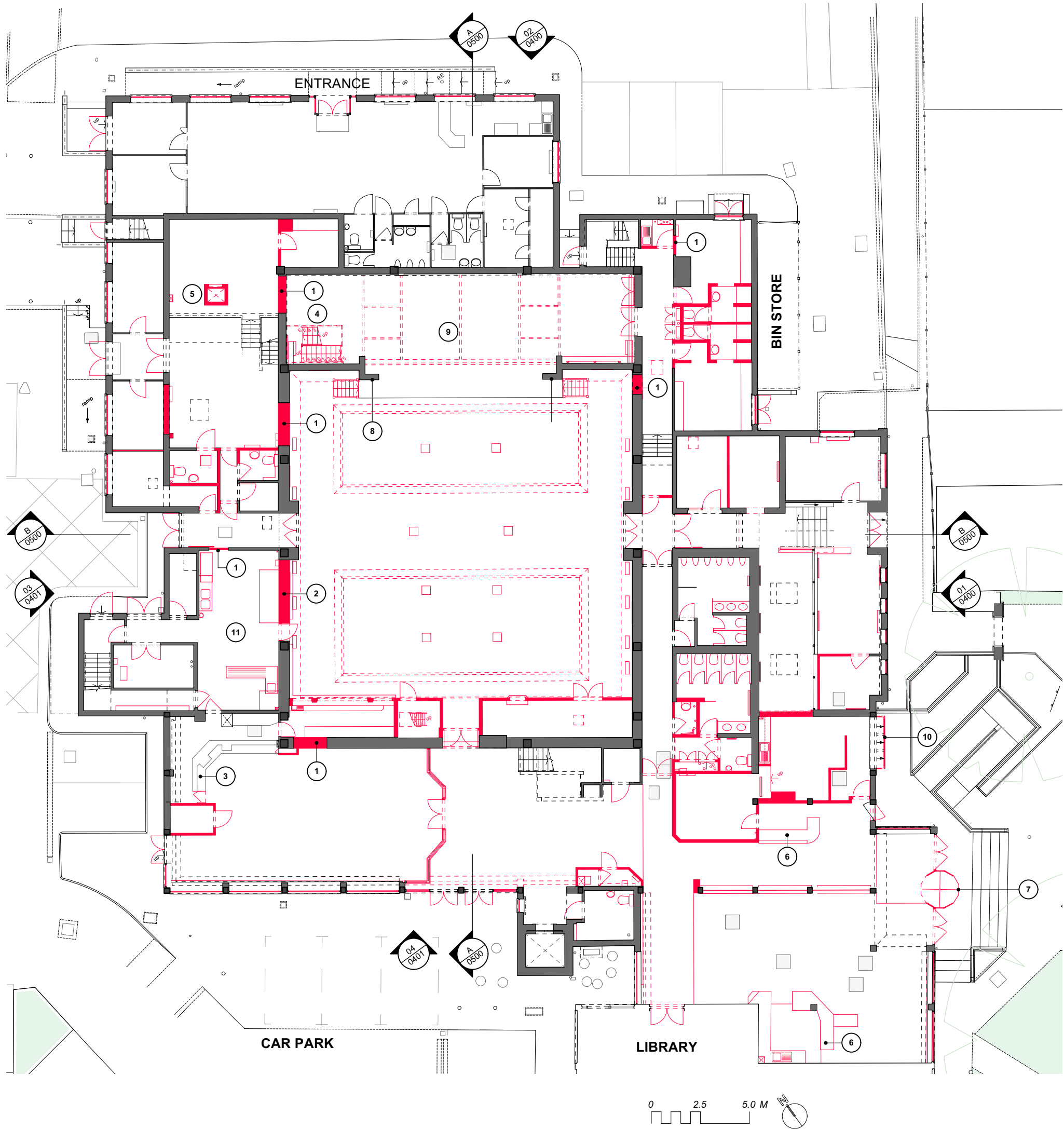
KEY

- Demolition of existing building fabric
- Retained existing building fabric
- Removal of existing flat roof covering
- Demolition of roof and associated structure

Floor finishes removed throughout. Ceilings removed throughout. Wall finishes stripped back (for redecoration). All sanitaryware removed (unless noted otherwise). All windows and doors (both internal and external) to be removed. All radiators removed.

Walls highlighted in red are fully removed (floor to soffit) unless the drawing specifically notes a door opening or a wall opening. Where windows and doors are removed, the structural opening is unchanged unless noted otherwise.

- New door opening.
- New wall opening spanned by lintel / beam.
- Counter structure retained but frontage and countertop removed. End of counter store removed.
- Stair removed.
- Dumb waiter removed.
- Counter & associated fixtures removed.
- Entrance screen (including revolving door) removed.
- Proscenium opening height increased.
- Existing steel rigging grillage removed to be raised to higher level (investigate viability of reusing existing steel members where possible).
- Facade demolished.
- Allow for full kitchen stripout. Assumed that some of the kitchen equipment will be reused (TBC) but reconfigured.



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P1		CR/LK	29/04/2025
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Fleet Town Council

AT:
236 Fleet Rd, Fleet GU51 4BY

DRAWING TITLE:
Demolition Ground Floor Plan - Option 1

DATE: 17/03/2025	SCALE: 1:200@A3		
JOB NO: 1668	DRAWN BY: CR	CHECKED BY: NP	
DWG NO. (JOB-ORIG-BLDG-LVL-TYPE-ROLE-SHEET NO.-OP.-REV.) ZZ-00-DR-A-0211-OPT 1			-P2
Copyright			

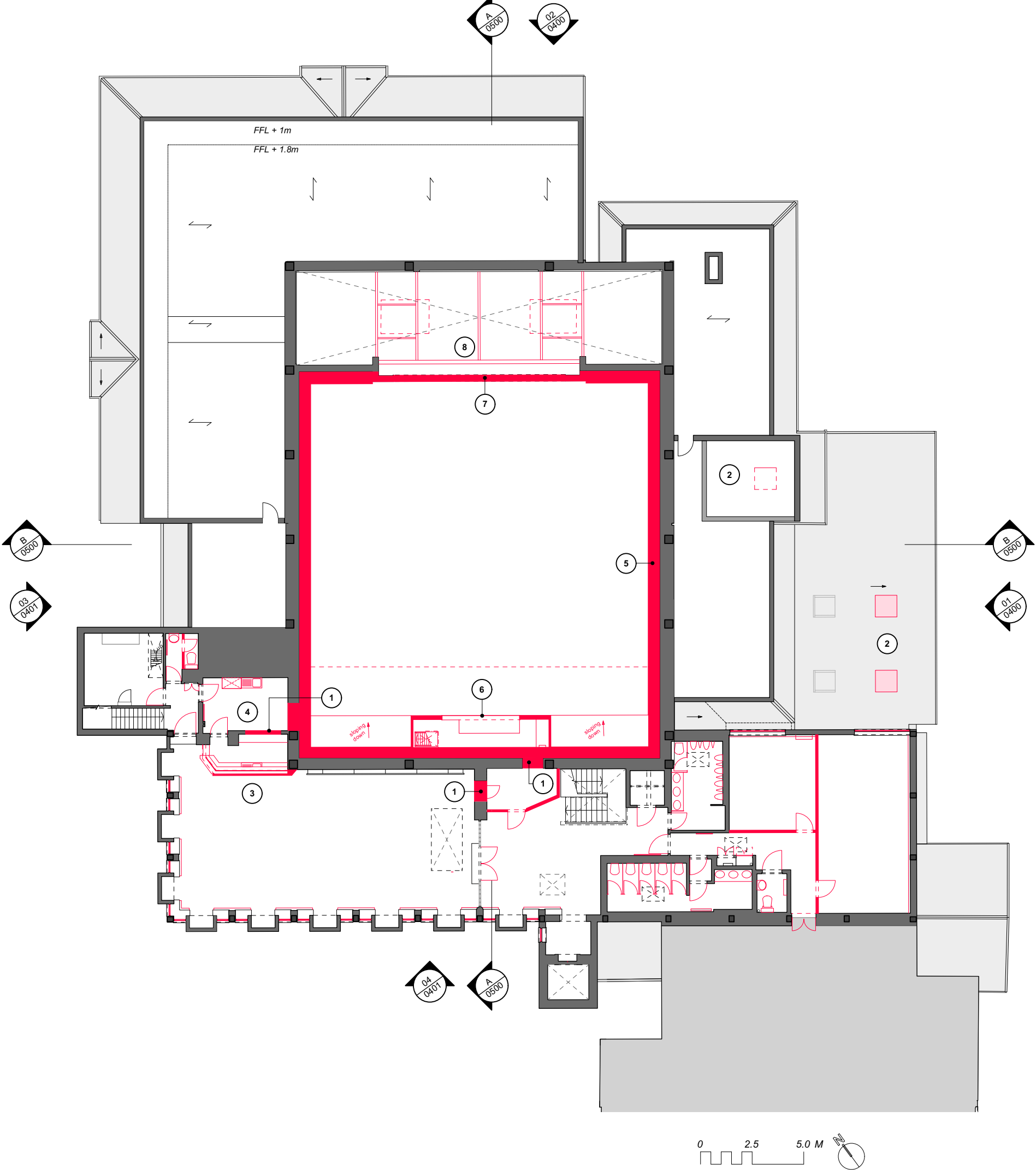
KEY

- Demolition of existing building fabric
- Retained existing building fabric
- Removal of existing flat roof covering
- Demolition of roof and associated structure

Floor finishes removed throughout. Ceilings removed throughout. Wall finishes stripped back (for redecoration). All sanitaryware removed (unless noted otherwise). All windows and doors (both internal and external) to be removed. All radiators removed.

Walls highlighted in red are fully removed (floor to soffit) unless the drawing specifically notes a door opening or a wall opening. Where windows and doors are removed, the structural opening is unchanged unless noted otherwise.

- New door opening.
- Localised roof penetration for new rooflight.
- Counter & associated fixtures removed.
- Kitchenette fixtures stripped out.
- Removal of auditorium ventilation ductwork and associated wall linings.
- Removal of control room (including floor structure).
- Proscenium opening height increased.
- Existing steel rigging grillage removed to be raised to higher level (investigate viability of reusing existing steel members where possible).



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FOR:
Fleet Town Council

AT:
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DRAWING TITLE:
Demolition First Floor Plan - Option 1

DATE: 17/03/2025	SCALE: 1:200@A3		
JOB NO: 1668	DRAWN BY: CR	CHECKED BY: NP	
DWG NO. (JOB-ORIG-BLDG-LVL-TYPE-ROLE-SHEET NO.-OP.-REV.) ZZ-01-DR-A-0212-OPT 1			-P2
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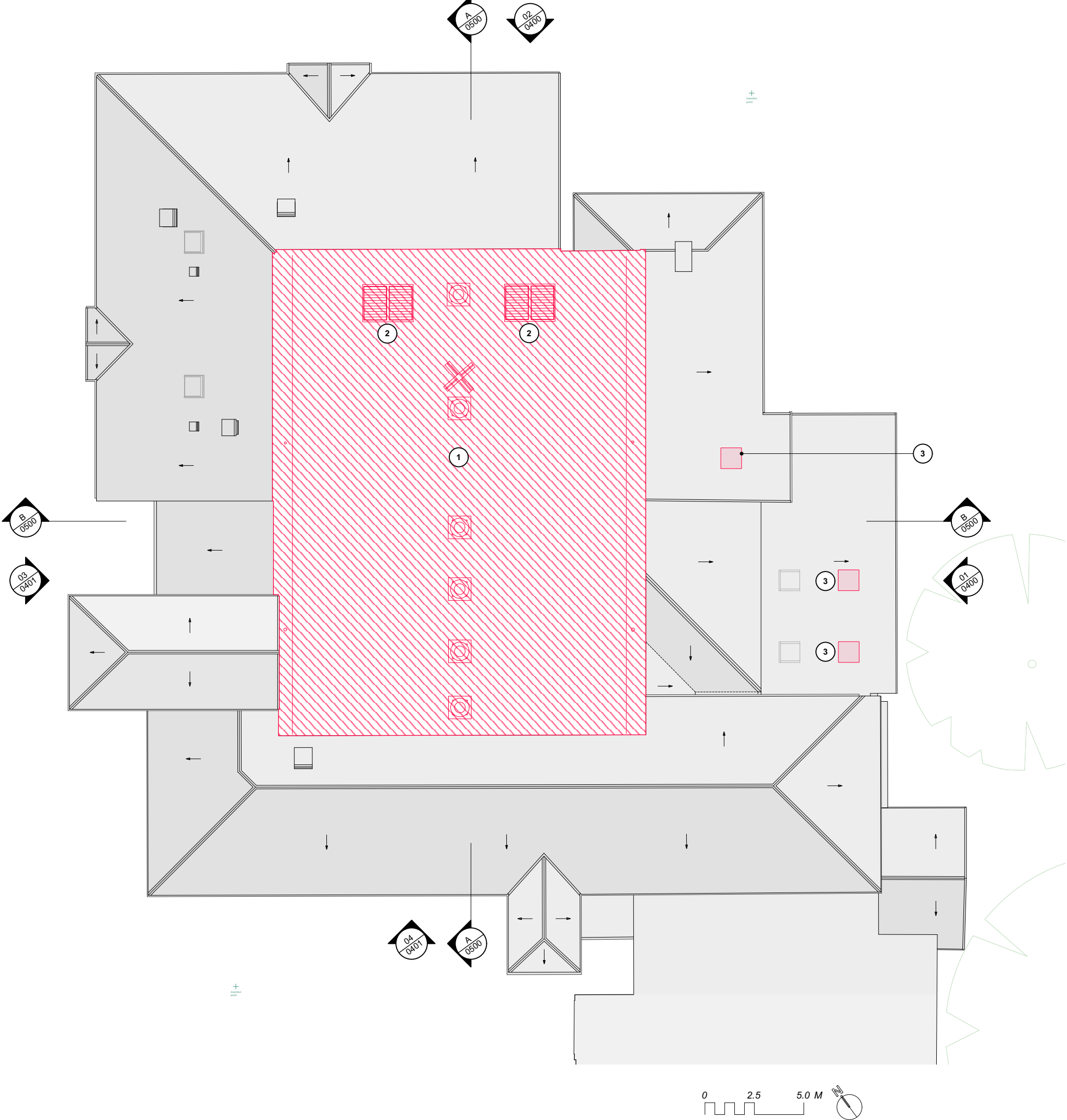
KEY

- Demolition of existing building fabric
- Retained existing building fabric
- Removal of existing flat roof covering
- Demolition of roof and associated structure

Floor finishes removed throughout. Ceilings removed throughout. Wall finishes stripped back (for redecoration). All sanitaryware removed (unless noted otherwise). All windows and doors (both internal and external) to be removed. All radiators removed.

Walls highlighted in red are fully removed (floor to soffit) unless the drawing specifically notes a door opening or a wall opening. Where windows and doors are removed, the structural opening is unchanged unless noted otherwise.

1. Roof coverings, vents, deck and joists removed. Glulam beams retained.
2. Existing smoke vents removed (for replacement).
3. Localised roof penetration for new rooflight.



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OPTION 1

P2	For feasibility report	LK/HG	20/06/2025
FIRST ISSUE: ISSUED FOR DESIGN TEAM COORDINATION			
P1		CR/LK	29/04/2025
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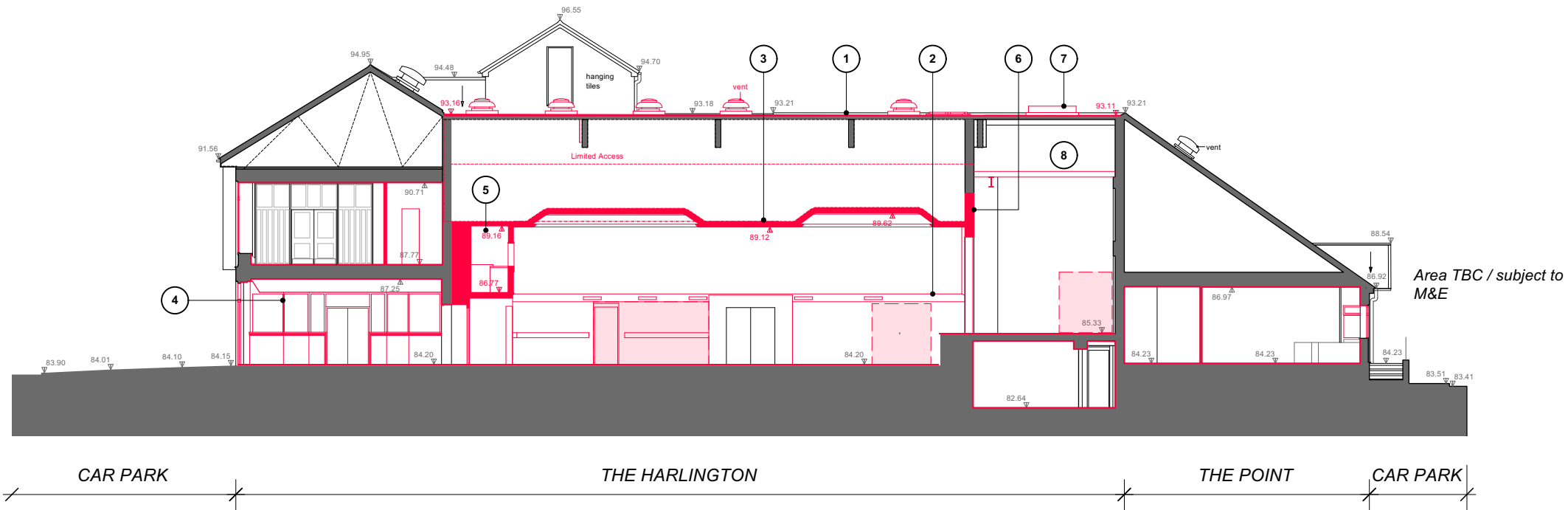
AT:
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DRAWING TITLE:
Demolition Roof Plan - Option 1

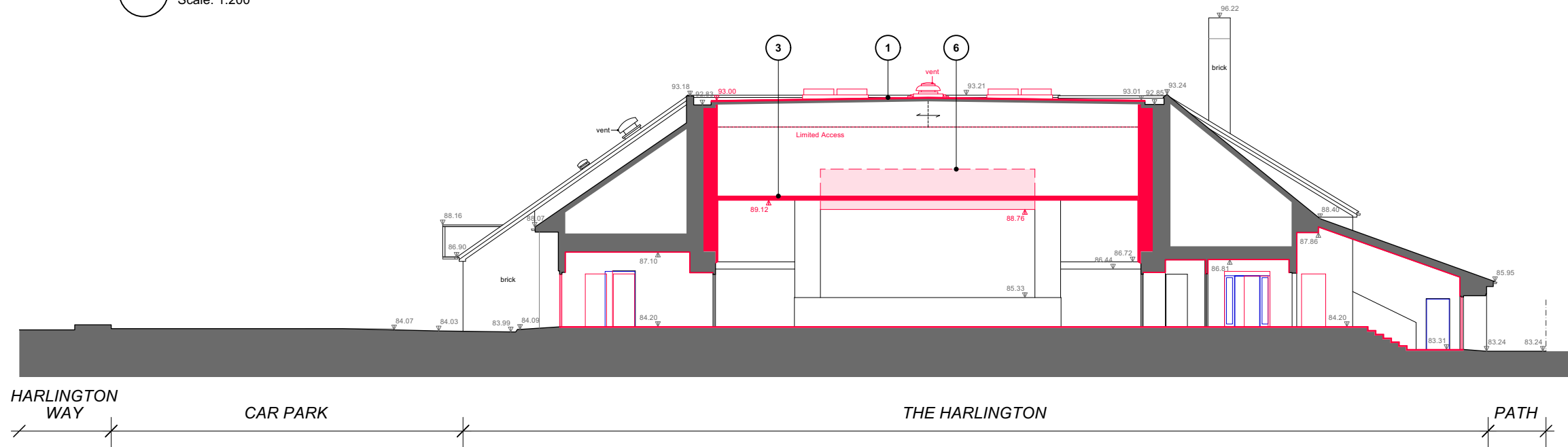
DATE: 17/03/2025	SCALE: 1:200@A3		
JOB NO: 1668	DRAWN BY: CR	CHECKED BY: NP	
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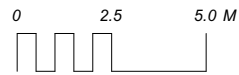
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1 Demolition Section AA
Scale: 1:200



2 Demolition Section BB
Scale: 1:200



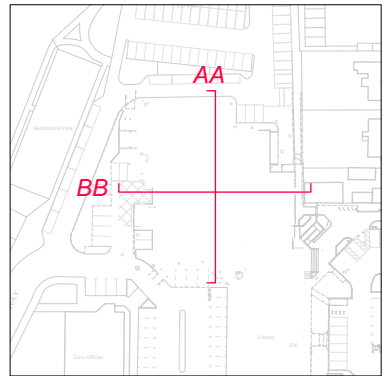
Demolition of existing building fabric
Existing building fabric

KEY

1. Removal of existing flat roof covering, deck, joists and vents.
2. Removal of auditorium ventilation systems.
3. Demolition of existing auditorium suspended ceiling.
4. Removal of existing internal glazed partition.
5. Removal of existing storage and control room.
6. Partial demolition of proscenium to facilitate increase in height.
7. Removal of existing smoke vents (for replacement).
8. Existing steel rigging grillage removed to be raised to higher level (investigate viability of reusing existing steel members where possible).

NOTES

Finishes and ceilings removed throughout; all internal walls to be redecorated. All sanitaryware, external windows, internal & external doors to be removed.



3 Key Plan
Scale: NTS

P2	For feasibility report	LK/HG	20/06/2025
P1	ISSUED FOR DESIGN TEAM CO-ORDINATION	CR/LK	28/04/2025
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DRAWING TITLE:
Demolition Sections AA & BB - Option 1

DATE: 17/03/2025	SCALE: 1:200@A3	CHECKED BY: NP
JOB NO: 1668	DRAWN BY: CR	
DWG NO. (JOB-ORIG-BLDG-LVL-TYPE-ROLE-SHEET NO.-OP.-REV.) ZZ-ZZ-DR-A-0500-OPT 1		-P2

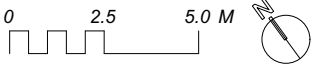
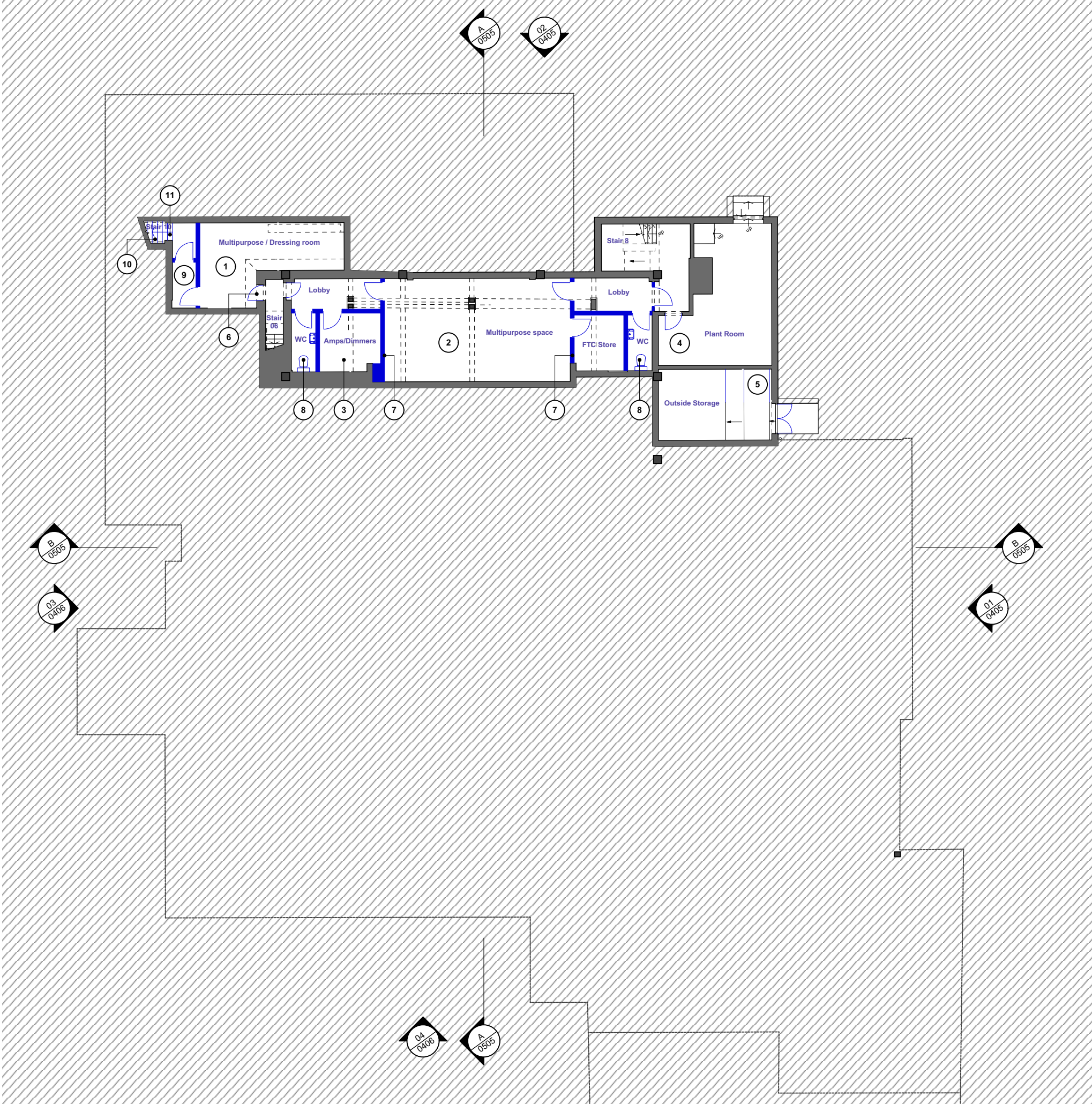
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Floor finishes and ceilings replaced throughout. All internal walls redecorated. All sanitaryware replaced. All windows replaced. All internal and external doors replaced subject to fire strategy. In instances where the layout is unchanged, new doors are to fit within existing structural openings.

The thicknesses of new walls are generally slightly oversized on this drawing to allow for tolerance at this early space planning stage.

- New elements
- Existing building fabric

1. Multipurpose space - sometimes used as a dressing room or as an informal media suite (digital connectivity to be provided for this purpose).
2. Multipurpose space / workshop / chorus room (no more than 60 people due to inward opening doors).
3. New amps/dimmers/comms room (with cooling).
4. Fire consultant to advise whether the existing plant room needs to be lobbied. Emergency battery room to be incorporated into existing plant room space - exact position / division of the room TBA.
5. Market square WC removed. Staff bike rack incorporated in the space gained.
6. Fire curtain could be installed over door opening here if required - fire consultant to advise (as a lobby here would encroach into the usable space).
7. New partitions.
8. New WCs supporting the multipurpose spaces.
IN ABEYANCE SUBJECT TO INVESTIGATION OF DRAINAGE OPTIONS.
9. New lobbied entrance to Stair 10 (due to new connection with ground floor spaces).
10. Bottom flight of Stair 10 modified (new build-up on top of the existing treads) to create space on the ground floor landing for a new door into The Point.
11. Lintel raised over opening to suit Stair 10 modifications.



1 Proposed Basement Plan
Scale: 1:200

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P6	Issued for feasibility study	LK/HG	20/06/2025
P5	Client comment incorporated	LK/HG	10/06/2025
P4	Client comments incorporated	LK/HG	02/06/2025
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AT:
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DRAWING TITLE:
Proposed Basement Plan - Option 2

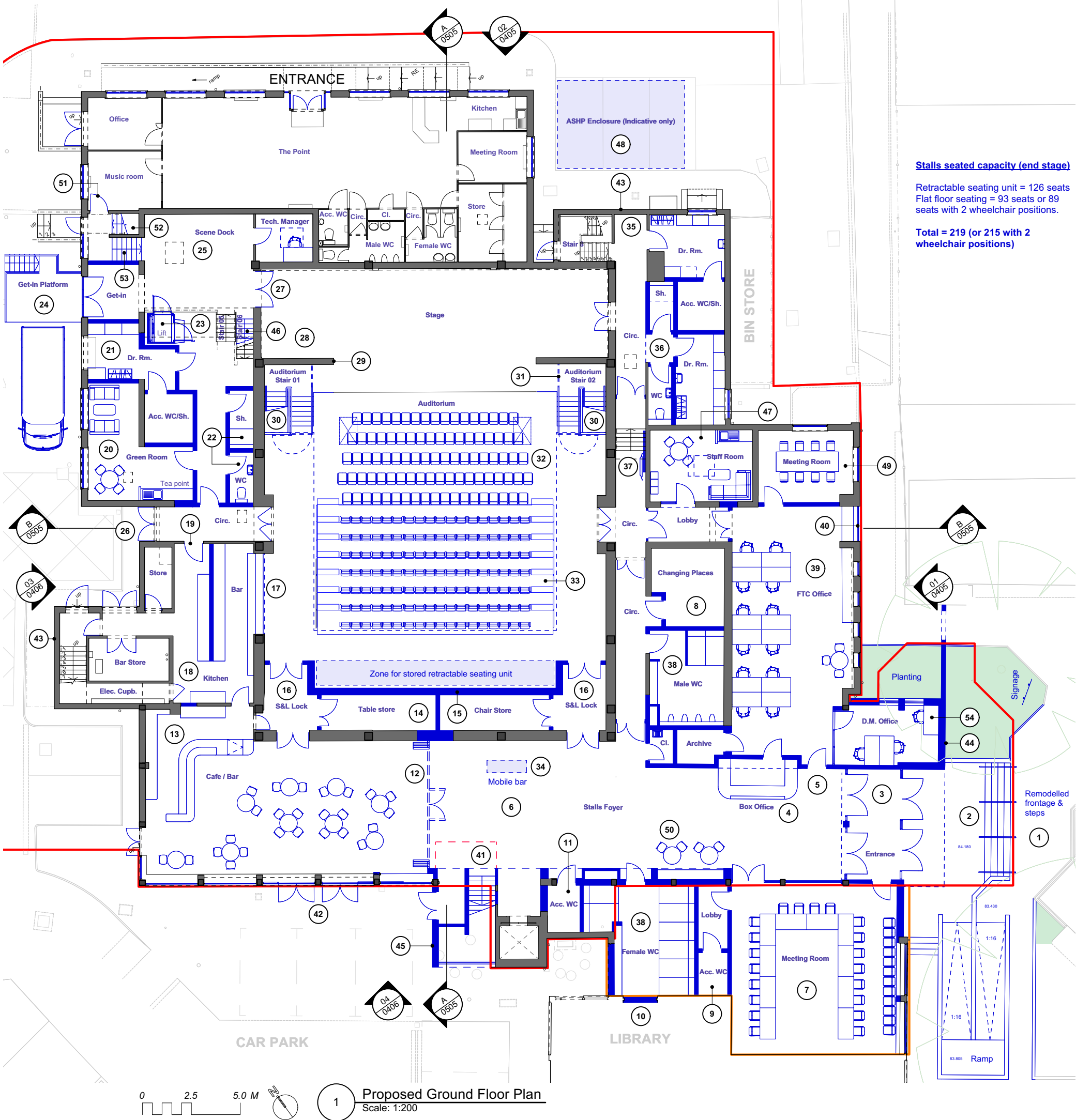
DATE: 07/05/2025	SCALE: 1:200@A3	CHECKED BY: HG
JOB NO: 1668	DRAWN BY: LK	
DWG NO. (JOB-ORIG-BLDG-LVL-TYPE-ROLE-SHEET NO.-OP.-REV.) ZZ-B1-DR-A-0200-OPT 2		-P6
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Floor finishes and ceilings replaced throughout. All internal walls redecorated. All sanitaryware replaced. All windows replaced. All internal and external doors replaced subject to fire strategy. In instances where the layout is unchanged, new doors are to fit within existing structural openings.

The thicknesses of new walls are generally slightly oversized on this drawing to allow for tolerance at this early space planning stage.

- New elements
- Existing building fabric

- Re-landscaped external area with shallower Part-M compliant ramp and re-built steps.
- Remodelled and extended frontage including canopy.
- New entrance lobby with powered doors.
- Box office / FTC office reception.
- New entrance to Fleet Town Council Offices.
- Stalls Foyer 'decluttered' and stair removed.
- Meeting room with independent access (and accessible WC). **N.B. Requires the removal of 2 existing columns.**
- New Changing Places WC.
- Lobbied accessible WC off the meeting room.
- Library link closed off.
- Acc.WC/shower reduced to standard accessible WC.
- Folding wall (fully or partially glazed). Acoustic rating TBC.
- New cafe/bar counter with integrated lighting. Back bar display / rear counter also replaced. Store removed.
- Suite of storage spaces introduced. Electromagnetic hold-opens on store / lobby doors for ease of furniture trolley access.
- Wall rebuilt to incorporate structural columns supporting the new balcony above.
- Sound & light locks introduced for improved acoustic separation from foyer.
- Relocated auditorium bar (for standing gigs). Acoustic roller shutter closed for more acoustically sensitive performances.
- Kitchen layout rearrangement (extent TBC).
- New door from kitchen.
- New daylight Green Room with tea point.
- 4-person dressing room with ensuite accessible WC/shower.
- Individual self-contained WC and individual shower room.
- New platform lift to provide wheelchair access to stage level.
- New stage level get-in with external platform.
- Scene dock.
- Stage Door (BOH entrance for performers)
- New door upstage right.
- Existing on-stage stair removed.
- Proscenium opening widened and height increased.
- Staircases to balcony level & stage. Gate at bottom of stair which can be closed when balcony is not in use.
- Removable barrier (or gate) between stair landing and stage.
- Loose (linkable) seating on flat floor to front 5 rows. These chairs also form part of the cabaret seating provision.
- New powered retractable seating unit.
- Mobile bar counter - indicative dims 2020mm(W) x 640mm(D) based on Servaclean double unit. Folded dims (for storage): 2060mm(W) x 250mm(D).
- Kitchenette removed (wheelchair refuge).
- Dressing rooms & associated sanitary facilities reconfigured.
- New wheelchair platform stairlift (to replace existing chairlift). Door relocated to top of stair.
- Front of house WCs fully reconfigured (with additional cubicles provided for females).
- Office space opened up and reconfigured. Infill floor over the sunken zone to give a single consistent floor level.
- Windows and roof raised to suit amended floor levels.
- Escape doors removed.
- New escape stair. Red dashed line indicates 3-sided fire curtain if required (fire consultant to advise).
- New glazed escape doors.
- Potential locations for illuminated digital display screens.
- Potential locations for illuminated poster panels.
- Potential locations for illuminated external signage.
- New stair to technical gallery via the existing pitched roof void. Roof truss alterations required.
- Staff room with tea point, seating and lockers (FTC & casual staff). New rooflight above.
- Indicative air source heat pump enclosure.
- FTC meeting room.
- Banquette seating with tables and chairs.
- New door into The Point (with access control).
- Bottom flight of Stair 10 modified (new build-up on top of the existing treads) to create space for new door off landing.
- New stair flight.
- Office for Duty Managers



Stalls seated capacity (end stage)

Retractable seating unit = 126 seats
Flat floor seating = 93 seats or 89 seats with 2 wheelchair positions.

Total = 219 (or 215 with 2 wheelchair positions)

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P7	For feasibility report	LK/HG	17/06/2025
P6	Client comments incorporated	LK/HG	10/06/2025
P5	Client comments incorporated	LK/HG	02/06/2025
REV:	NOTES:	BY/CHKD:	DATE:

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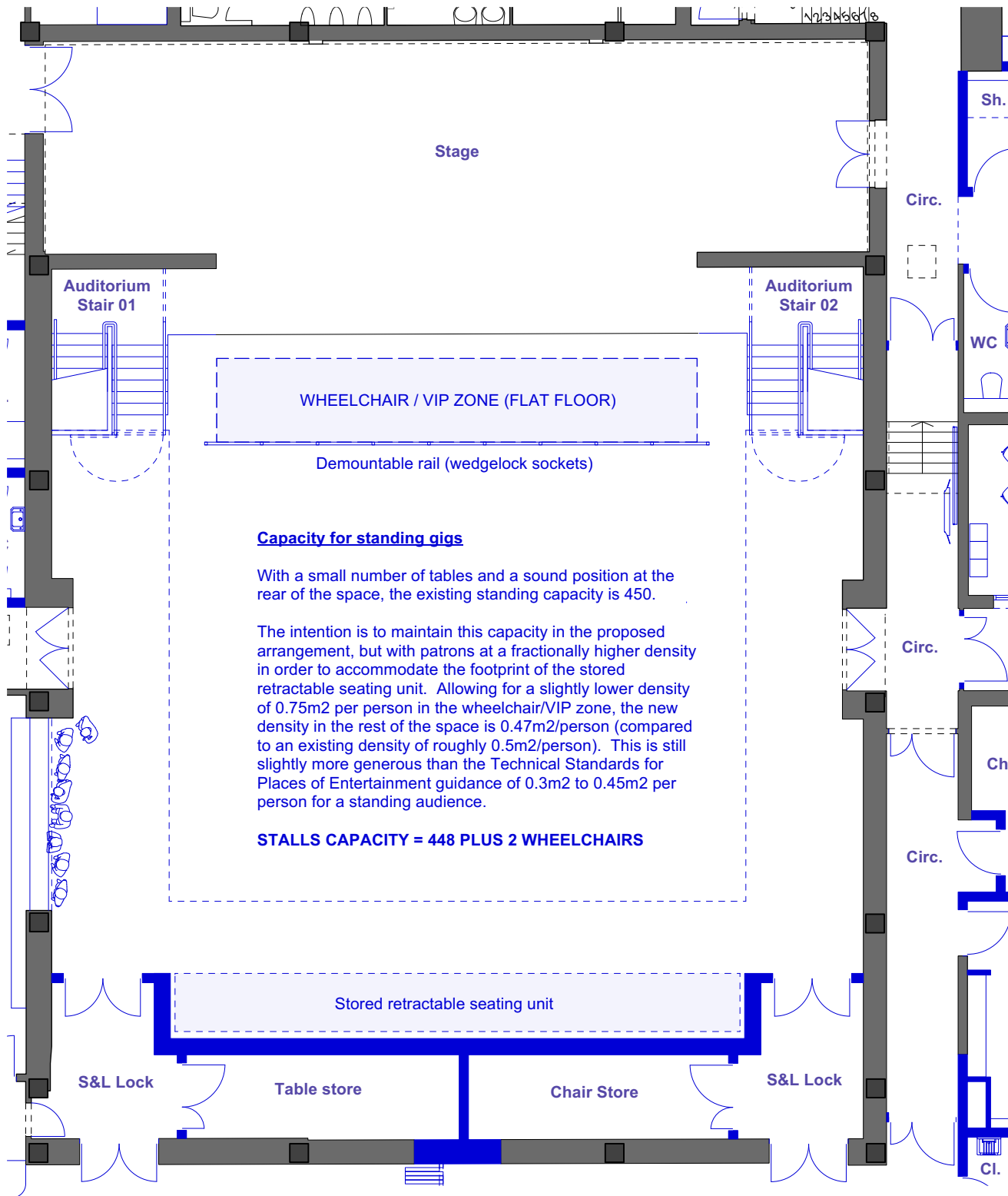
JOB:
Harlington Fleet

FOR:
Fleet Town Council

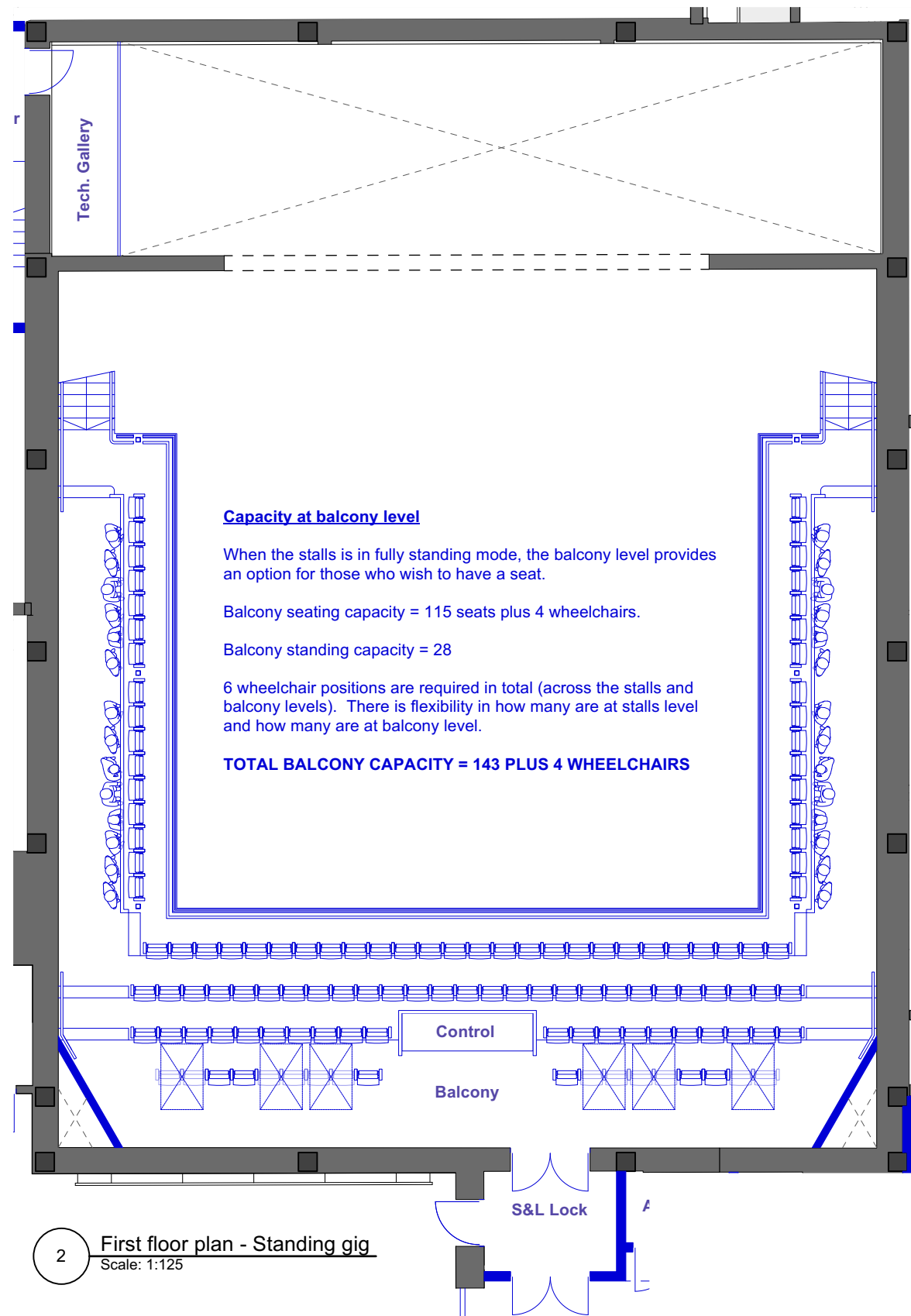
AT:
236 Fleet Rd, Fleet GU51 4BY

DRAWING TITLE:
Proposed Ground Floor Plan - Option 2

DATE: 14/04/2025	SCALE: 1:200@A3
JOB NO: 1668	DRAWN BY: LK
DWG NO.: ZZ-00-DR-A-0201-OPT 2	CHECKED BY: NP
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1 Ground floor plan - Standing gig
Scale: 1:125



2 First floor plan - Standing gig
Scale: 1:125

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TOTAL CAPACITY = 591 PLUS 6 WHEELCHAIRS.

This assumes 2 wheelchair positions at stalls level and 4 at balcony level.

Capacity at balcony level

When the stalls is in fully standing mode, the balcony level provides an option for those who wish to have a seat.

Balcony seating capacity = 115 seats plus 4 wheelchairs.

Balcony standing capacity = 28

6 wheelchair positions are required in total (across the stalls and balcony levels). There is flexibility in how many are at stalls level and how many are at balcony level.

TOTAL BALCONY CAPACITY = 143 PLUS 4 WHEELCHAIRS

P2 Feasibility report issue LK / HG 12/06/2025
P1 WIP issue in powerpoint to FTC LK / HG 15/05/2025
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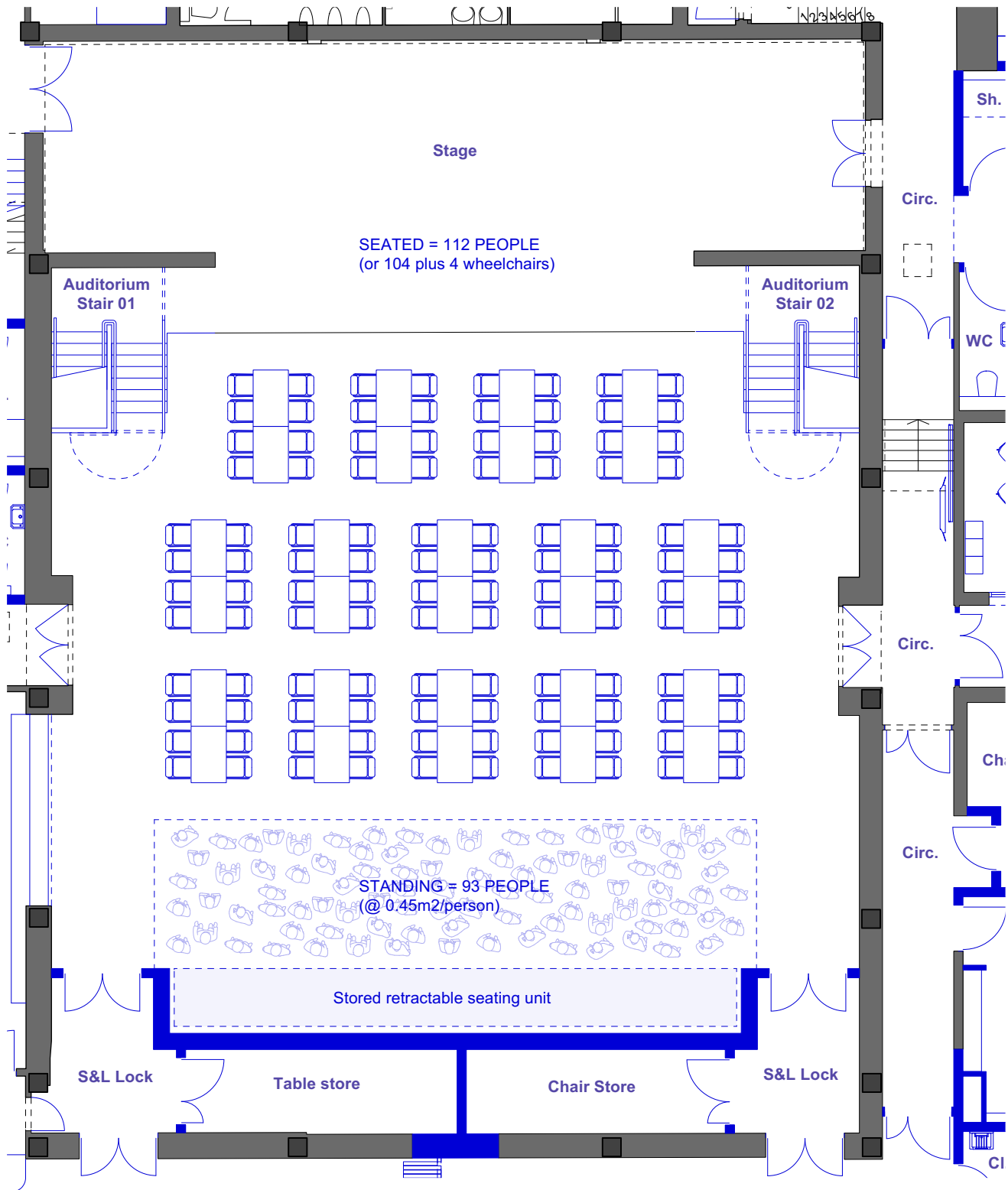
JOB:
Harlington Fleet

FOR:
Fleet Town Council

AT:
236 Fleet Rd, Fleet GU51 4BY

DRAWING TITLE:
Option 2 - Standing gig

DATE: 28/04/2025	SCALE: 1:125@A3
JOB NO: 1668	CHECKED BY: HG
DWG NO. (JOB-ORIG-BLDG-LVL-TYPE-ROLE-SHEET NO./OP./REV.) ZZ-ZZ-DR-A-0206-OPT 2 -P2	
Copyright	



1

Ground floor plan - Cabaret format
Scale: 1:125

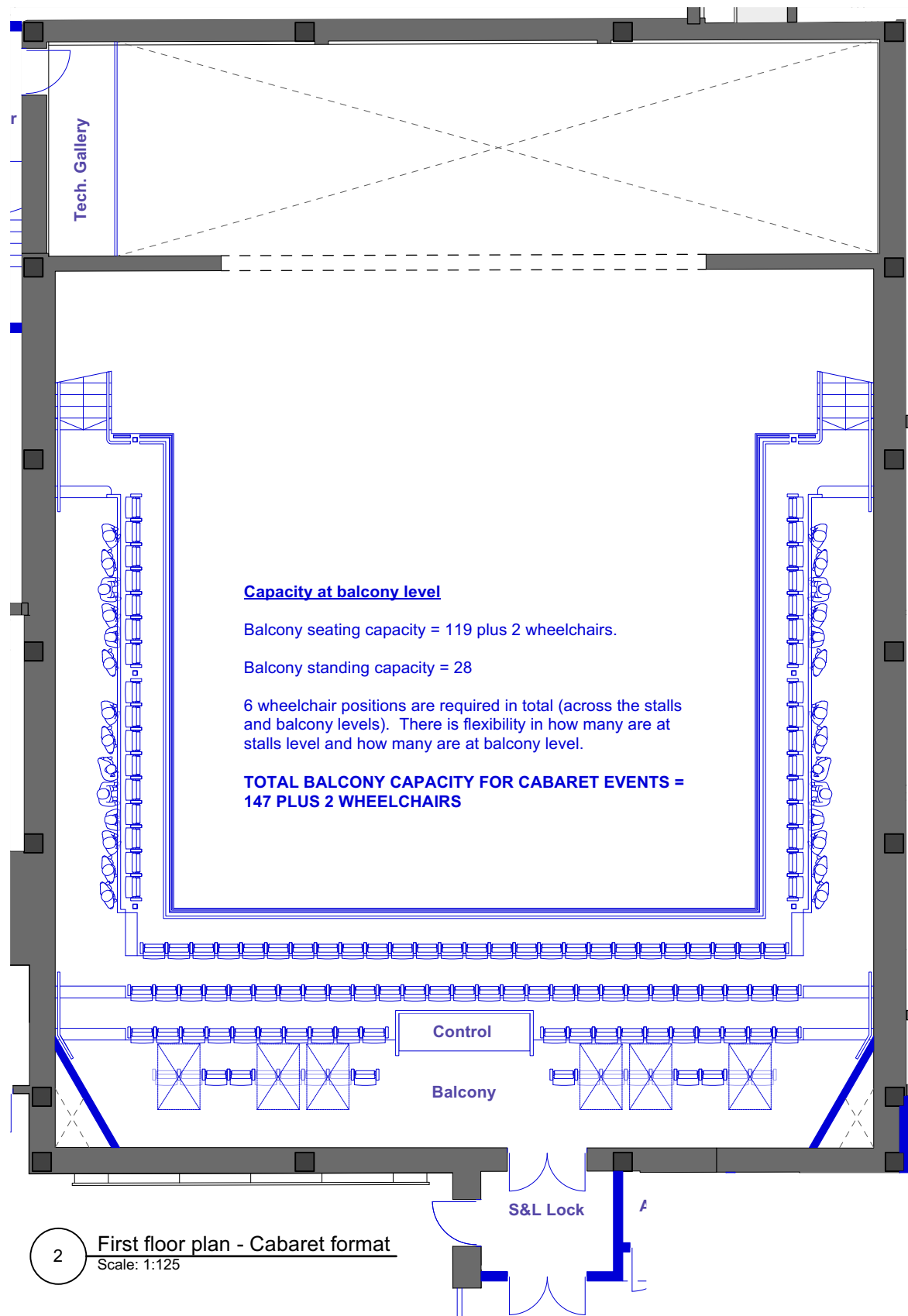
Assumptions:

500mm seats without armrests (i.e. slightly wider than the existing seats in order to double up as more comfortable seating when in end stage format).

550mm from table edge to back of chair and 800mm walking space between backrests / table ends.

8-person tables only to maximise capacity. These are drawn as pairs of 4ft x 2.5ft tables based upon existing table sizes (but fractionally wider tables may be more comfortable - a review of the table leg positions will be required in relation to the slightly wider seats).

A relatively densely populated standing area (rather than more spaced out with poseur tables).



2

First floor plan - Cabaret format
Scale: 1:125

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TOTAL CAPACITY = 344 PLUS 6 WHEELCHAIRS

P3	People added for standing zone	LK / HG	20/06/2025
P2	Feasibility report issue	LK / HG	12/06/2025
P1	WIP issue in powerpoint to FTC	LK / HG	15/05/2025
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STAGE 1

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JOB:
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FOR:
Fleet Town Council

AT:
236 Fleet Rd, Fleet GU51 4BY

DRAWING TITLE:
Option 2 - Cabaret format

DATE: 14/05/2025	SCALE: 1:125@A3
JOB NO: 1668	DRAWN BY: LK
	CHECKED BY: HG
DWG NO.: (JOB-ORIG-BLDG-LVL-TYPE-ROLE-SHEET NO.) (OP-REV.) ZZ-ZZ-DR-A-0207-OPT 2	-P3

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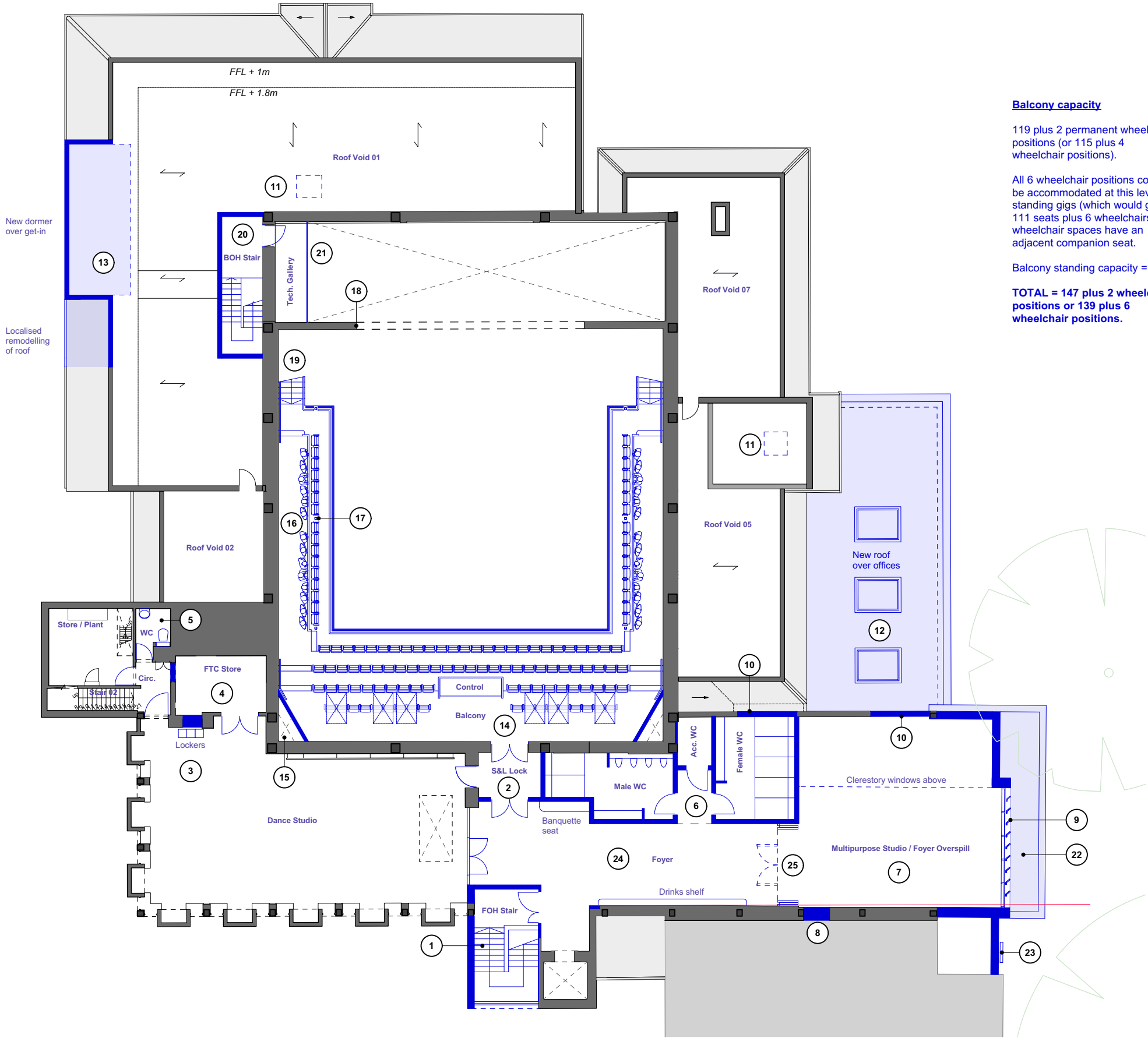
Floor finishes and ceilings replaced throughout. All internal walls redecorated. All sanitaryware replaced. All windows replaced. All internal and external doors replaced subject to fire strategy. In instances where the layout is unchanged, new doors are to fit within existing structural openings.

The thicknesses of new walls are generally slightly oversized on this drawing to allow for tolerance at this early space planning stage.

- New elements
- Existing building fabric

Drainage strategy for new / modified roofs to be developed in next design stage.

1. New escape stair. Assumed face of wall based upon removing existing outer leaf (single skin of brickwork) and retaining the inner leaf (assumed to be 215mm blockwork).
2. Shared sound and light lock between auditorium and dance studio (subject to agreement with acoustician). Allows for secondary escape from auditorium via dance studio.
3. Bar counter removed
4. New store in former kitchen. Mobile bar counter within store. Allow for power and data to set counter up within Dance Studio. New double doors enable counter to be wheeled out easily.
5. WC dividing wall removed. The fixtures remain in their existing positions (but the sanitaryware is replaced).
6. Front of house WCs reconfigured (male, female and accessible).
7. New multipurpose studio (with the same extended footprint as the ground floor entrance area below).
8. Library link closed off.
9. New frontage - glazed with vertical louvres (TBC - facade design to be developed further at next work stage).
10. Window infilled
11. New rooflight above
12. New roof (with rooflights) over the offices (to suit the modified floor levels in this space).
13. New dormer over stage-level get-in. Localised remodelling of adjacent roof.
14. New balcony accommodating audience seating (including wheelchair positions) and an open control booth.
15. Ventilation risers feed supply air into ceiling void plenum below.
16. Side slips - shown as part-seated / part-standing - but fully standing could also be considered.
17. Hangers supporting side slips (maintaining a column-free stalls level). Indicative only - strategy to be developed by structural engineer. Hangers set back from floor edge to optimise slips sightlines.
18. Proscenium opening widened (to optimise sightlines from new side slips) and height increased.
19. Staircases within the auditorium linking stalls and balcony level.
20. New technical stair in new insulated enclosure within existing pitched roof void. New door opening in stage house wall (onto new plugging gallery). **N.B. Vertical alignment of stage house wall (between ground and first floor) to be verified through site investigation.**
21. New technical (plugging) gallery in stage house.
22. Roof over remodelled entrance area below.
23. Potential location for illuminated building name signage.
24. New foyer connecting the two studios and the auditorium balcony.
25. Glazed folding screen, allowing the studio to become part of the foyer when required. Acoustic rating TBC.



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P7	For Feasibility Report	LK/HG	17/06/2025
P6	Client comments incorporated	LK/HG	10/06/2025
P5	Client comments incorporated	LK/HG	02/06/2025
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JOB:
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FOR:
Fleet Town Council

AT:
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DRAWING TITLE:
Proposed First Floor Plan - Option 2

DATE: 17/03/2025	SCALE: 1:200@A3	
JOB NO: 1668	DRAWN BY: LK	CHECKED BY: HG
DWG NO.: ZZ-01-DR-A-0202-OPT 2		-P7
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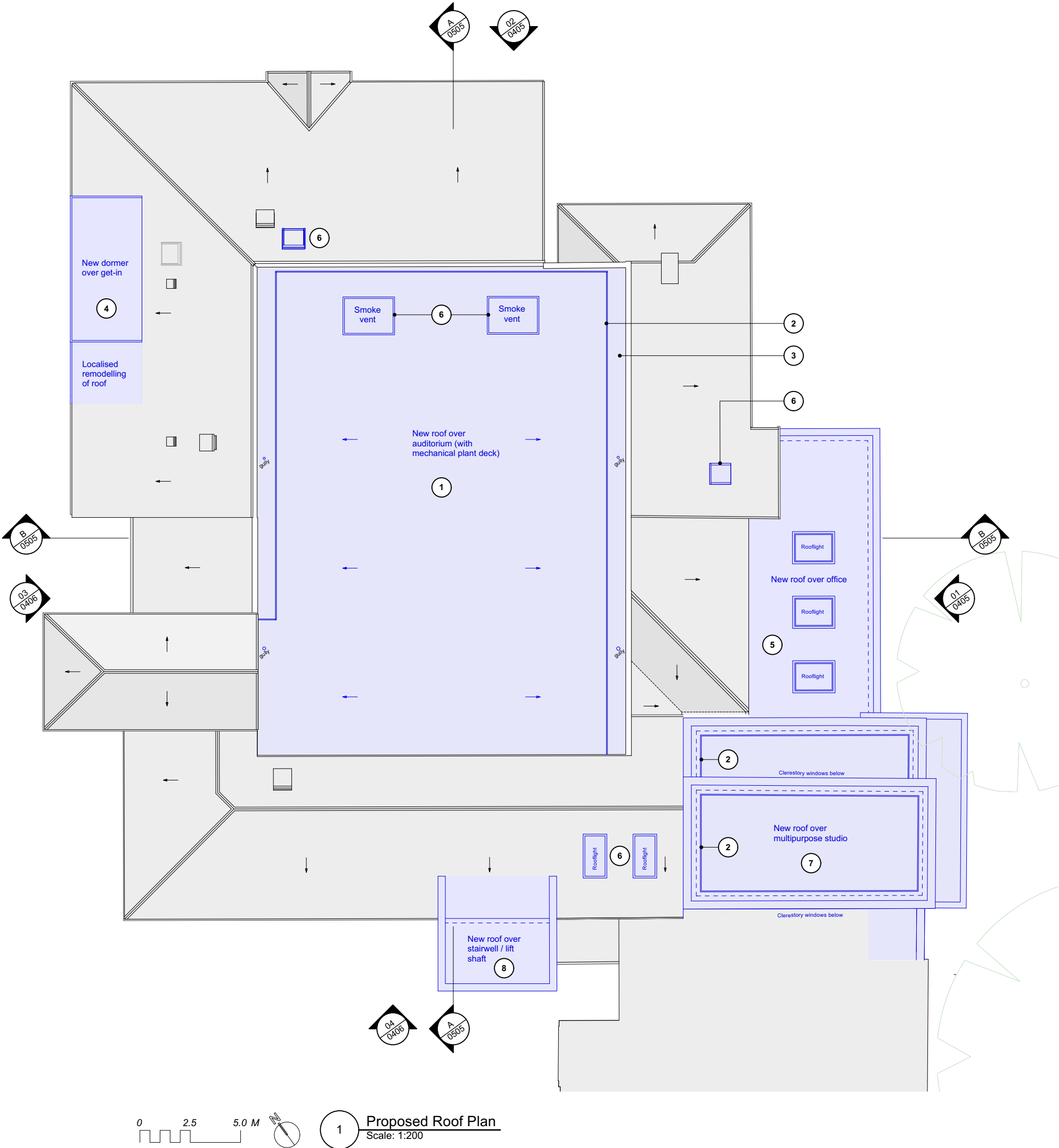
Floor finishes and ceilings replaced throughout. All internal walls redecorated. All sanitaryware replaced. All windows replaced. All internal and external doors replaced subject to fire strategy. In instances where the layout is unchanged, new doors are to fit within existing structural openings.

The thicknesses of new walls are generally slightly oversized on this drawing to allow for tolerance at this early space planning stage.

- New elements
- Existing building fabric

Drainage strategy for new / modified roofs to be developed in next design stage.

1. New roof over auditorium (including new roof structure, deck and insulated build-up). New rooftop mechanical plant (on plant deck or big feet as required) to M&E consultant's layout.
2. Safety guard rails for maintenance access to roof.
3. New drainage channels and gullies into existing downpipes.
4. New dormer over stage-level get-in. Localised remodelling of adjacent roof.
5. New roof (with rooflights) over the offices (to suit the modified floor levels in this space).
6. New rooflight.
7. New roof over multipurpose studio. Potential location for mechanical plant. Access strategy to be developed.
8. New roof over stairwell/lift shaft.
9. Assumed replacement of smoke vents over stage.



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P2	Client comments incorporated	LK/HG	10/06/2025
P1	First issued	LK/HG	02/06/2025
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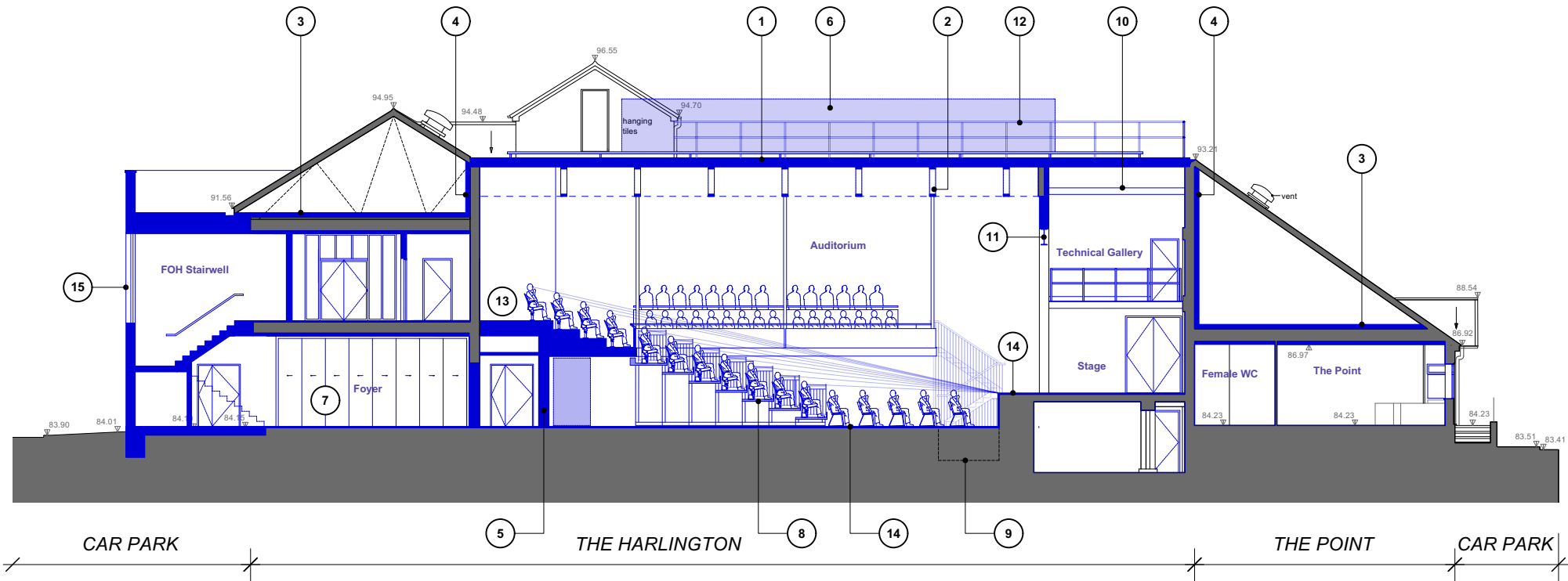
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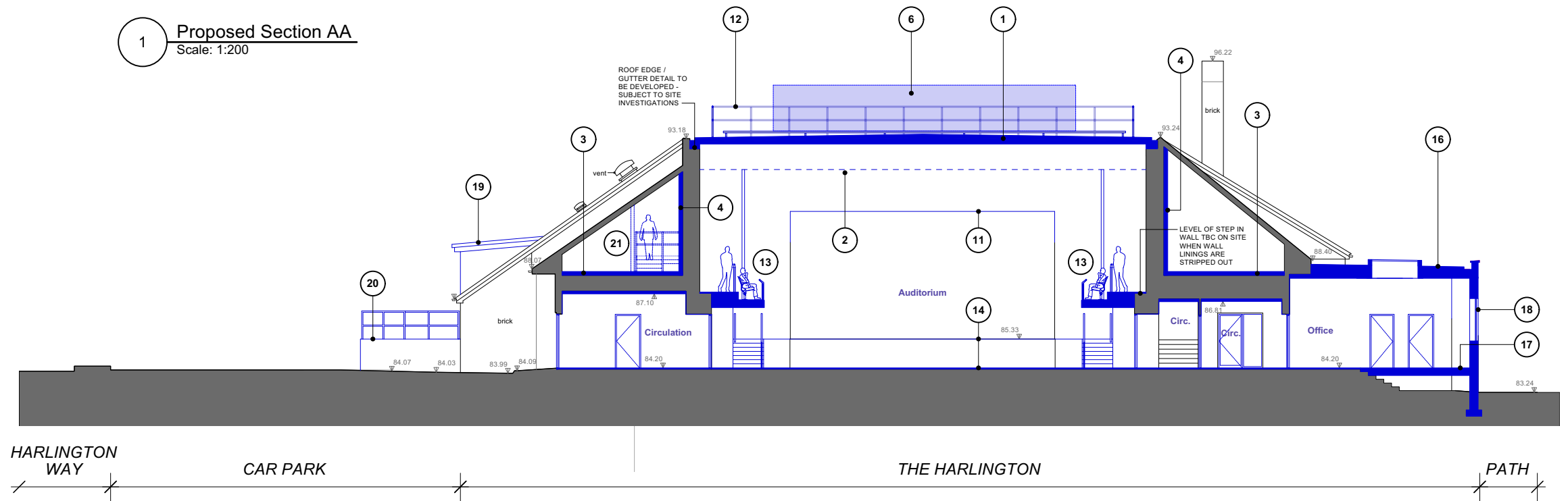
DRAWING TITLE:
Proposed Roof Plan - Option 2

DATE: 17/03/2025	SCALE: 1:200@A3	CHECKED BY: HG
JOB NO: 1668	DRAWN BY: CR	
DWG NO. (JOB-ORIG-BLDG-LVL-TYPE-ROLE-SHEET NO.-GP.-REV.) ZZ-RF-DR-A-0205-OPT 2		-P3
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1 Proposed Section AA
Scale: 1:200



2 Proposed Section BB
Scale: 1:200



KEY

1. New roof over auditorium.
2. New roof trusses (indicative zone only - to structural engineer's design).
3. New insulation within roof void. Ceiling below replaced.
4. New insulation layer to existing auditorium walls to enhance acoustics and thermal efficiency (insulation line steps out around tech. stair enclosure)
5. Wall rebuilt to incorporate structural columns supporting the new balcony above.
6. Indicative new plant equipment on plant deck.
7. Indicative folding wall (fully or partially glazed). Acoustic rating TBC.
8. Retractable seating unit with linked flat floor seating in front.
9. Existing pit - extent TBC.
10. New overstage beams raised to higher level (subject to further site investigations).
11. Height and width of existing proscenium opening increased (beam size indicative only - TBC by SE).
12. Safety guard rails for maintenance access to roof.

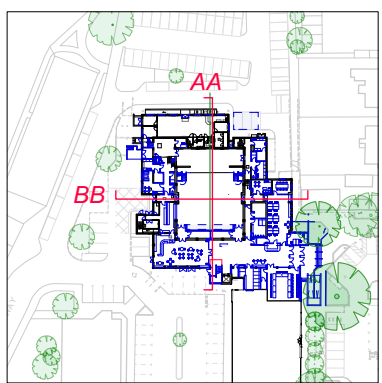
13. New balcony (and hung side slips) accommodating audience seating (including wheelchair positions) and an open control booth.
14. New multi-purpose auditorium and stage flooring.
15. New stair enclosure.
16. New roof over office space.
17. Infill floor over lower portion of office space (to give a consistent floor level).
18. Existing external wall to staff office increased in height and window openings raised. N.B. Section BB cuts through the existing escape doors, so the whole wall is new in this bay.
19. New dormer over stage-level get-in
20. External get-in platform
21. New stair to technical gallery in localised insulated enclosure within pitched roof void beyond (existing trusses modified accordingly). Allow for penetration through existing lower roof. Stair ideally supported from roof structure to maintain column-free scene dock.

NOTES

Floor finishes and ceilings replaced throughout. All internal walls redecorated. All sanitaryware replaced.

All windows replaced. All internal and external doors replaced subject to fire strategy. In instances where the layout is unchanged, new doors are to fit within existing structural openings.

The thicknesses of new walls are generally slightly oversized on this drawing to allow for tolerance at this early space planning stage.



3 Key Plan
Scale: NTS

P3	For feasibility report	LK/HG	20/06/2025
P2	Client comments incorporated	LK/HG	02/06/2025
P1	First issued	LK/HG	22/05/2025
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236 Fleet Rd, Fleet GU51 4BY

DRAWING TITLE:
Proposed Sections AA & BB - Option 2

DATE: 17/03/2025	SCALE: 1:200@A3	CHECKED BY: NP
JOB NO: 1668	DRAWN BY: CR	
DWG NO.: (JOB-ORIG-BLDG-LVL-TYPE-ROLE-SHEET NO.-GP-REV.) ZZ-ZZ-DR-A-0505-OPT 2		-P3
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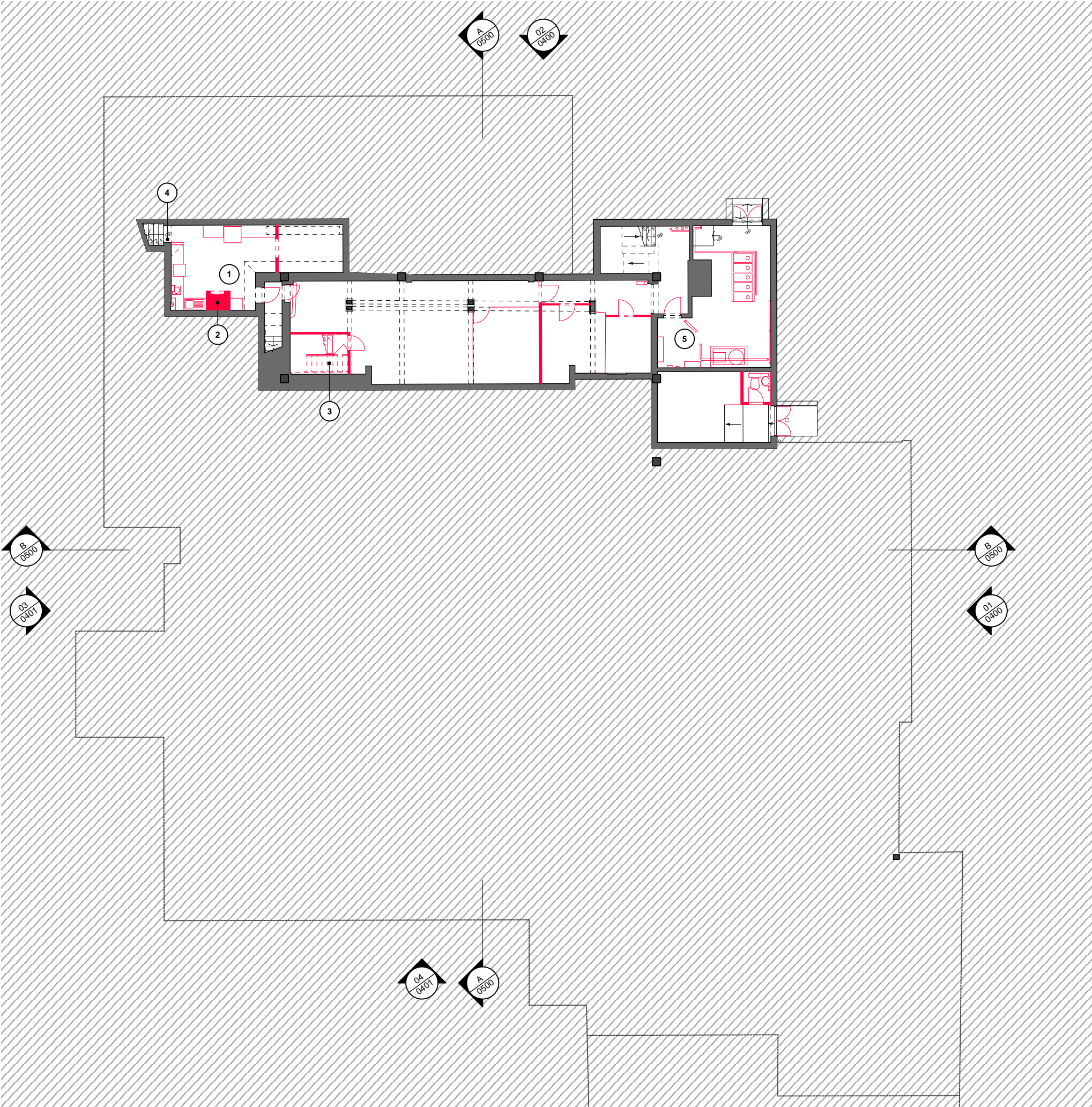
KEY

- Demolition of existing building fabric
- Retained existing building fabric
- Removal of existing flat roof covering
- Demolition of roof and associated structure

Floor finishes removed throughout. Ceilings removed throughout. Wall finishes stripped back (for redecoration). All sanitaryware removed (unless noted otherwise). All windows and doors (both internal and external) to be removed. All radiators removed.

Walls highlighted in red are fully removed (floor to soffit) unless the drawing specifically notes a door opening or a wall opening. Where windows and doors are removed, the structural opening is unchanged unless noted otherwise.

- Kitchen fixtures removed.
- Dumb waiter removed.
- Stair removed.
- Opening height increased (lintel level raised)
- Stripout of existing boilers and redundant services (refer to MEP package for details) and separation of Harlington & Library heating systems.



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P2	Client comments incorporated	LK/HG	02/06/2025
P1	First issued	LK/HG	22/05/2025
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236 Fleet Rd, Fleet GU51 4BY

DRAWING TITLE:
Demolition Basement Plan - Option 2

DATE: 19/05/2025	SCALE: 1:200@A3	CHECKED BY: HG
JOB NO: 1668	DRAWN BY: LK	
DWG NO. (JOB-ORIG-BLDG-LVL-TYPE-ROLE-SHEET NO.-OP.-REV.) ZZ-B1-DR-A-0210-OPT 2		-P3
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KEY

- Demolition of existing building fabric
- Retained existing building fabric
- Removal of existing flat roof covering
- Demolition of roof and associated structure

Floor finishes removed throughout. Ceilings removed throughout. Wall finishes stripped back (for redecoration). All sanitaryware removed (unless noted otherwise). All windows and doors (both internal and external) to be removed. All radiators removed.

Walls highlighted in red are fully removed (floor to soffit) unless the drawing specifically notes a door opening or a wall opening. Where windows and doors are removed, the structural opening is unchanged unless noted otherwise.

- New (or modified) door opening.
- New wall opening spanned by lintel / beam.
- Column removed.
- Stair removed.
- Dumb waiter removed.
- Counter & associated fixtures removed.
- Office windows removed and heights of window openings modified to suit amended floor level.
- Proscenium opening increased (in both width and height).
- Existing overstage grillage removed.
- Facade demolished.
- Outer leaf of cavity wall removed (single skin of brickwork). Inner leaf retained (assumed to be 215mm blockwork).
- External plinth removed
- Allow for full kitchen stripout. Assumed that some of the kitchen equipment will be reused (TBC) but reconfigured.
- Level and size of window opening modified to create opening for get-in door. Width of opening unchanged.
- External steps and ramp demolished.
- Planted beds modified to perimeter of car park.
- SHS columns and balustrade removed within office space.



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P2	Client comments incorporated	LK/HG	02/06/2025
P1	First issued	LK/HG	22/05/2025
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JOB:

Harlington Fleet

FOR:

Fleet Town Council

AT:

236 Fleet Rd, Fleet GU51 4BY

DRAWING TITLE:

Demolition Ground Floor Plan - Option 2

DATE: 19/05/2025 SCALE: 1:200@A3

JOB NO: 1668 DRAWN BY: LK CHECKED BY: HG

DWG NO. (JOB-ORIG-BLDG-LVL-TYPE-ROLE-SHEET NO.-OP.-REV.) ZZ-00-DR-A-0211-OPT 2 -P3

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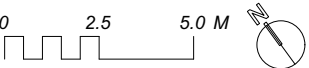
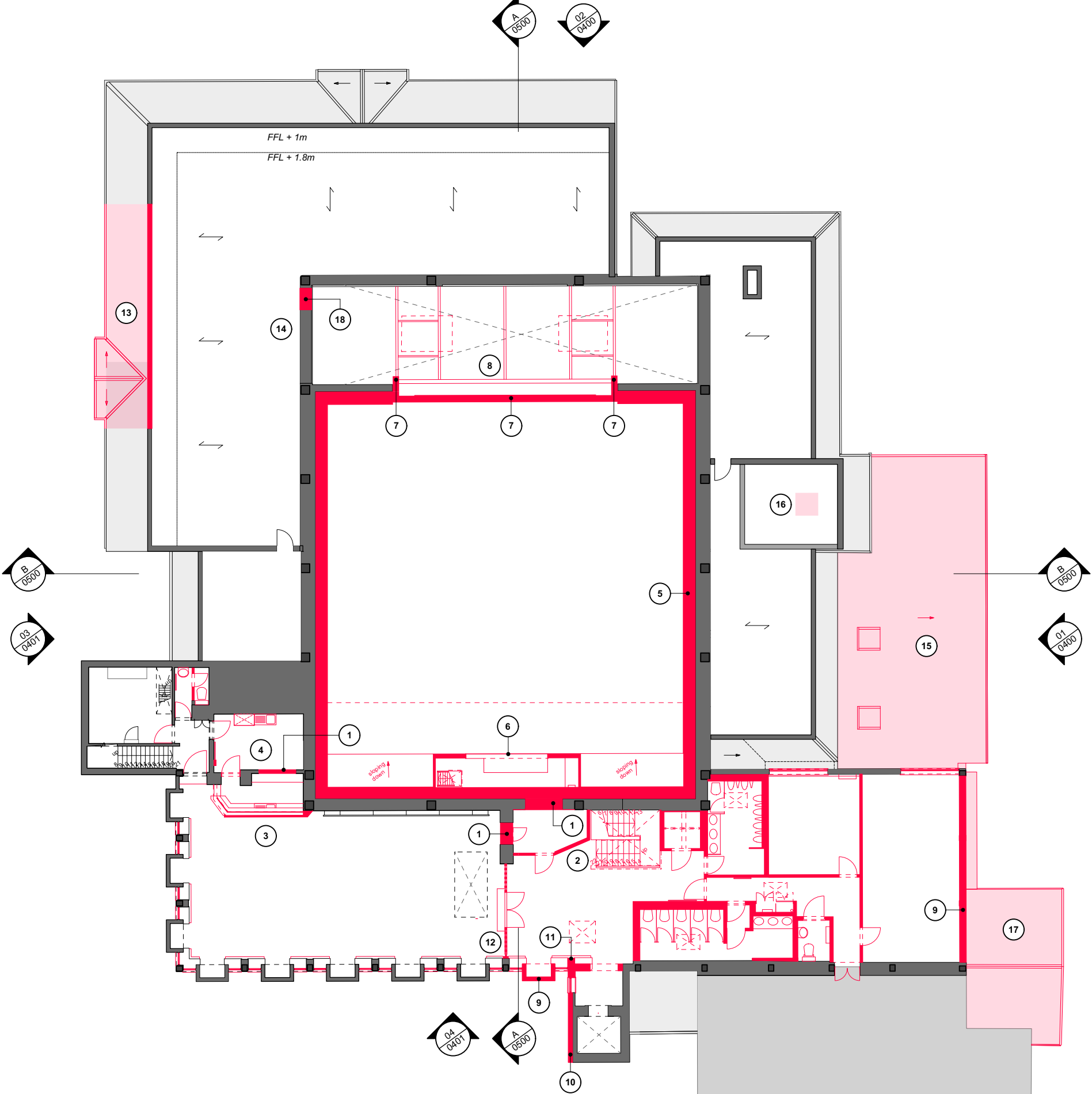
KEY

- Demolition of existing building fabric
- Retained existing building fabric
- Removal of existing flat roof covering
- Demolition of roof and associated structure

Floor finishes removed throughout. Ceilings removed throughout. Wall finishes stripped back (for redecoration). All sanitaryware removed (unless noted otherwise). All windows and doors (both internal and external) to be removed. All radiators removed.

Walls highlighted in red are fully removed (floor to soffit) unless the drawing specifically notes a door opening or a wall opening. Where windows and doors are removed, the structural opening is unchanged unless noted otherwise.

- New door opening.
- Stair removed.
- Counter & associated fixtures removed.
- Kitchenette fixtures stripped out.
- Removal of auditorium ventilation ductwork and associated wall linings.
- Removal of control room (including floor structure).
- Proscenium opening increased (in both width and height).
- Existing overstage grillage removed.
- Facade demolished.
- Outer leaf of cavity wall removed (single skin of brickwork). Inner leaf retained (assumed to be 215mm blockwork).
- Column removed
- Dance studio glazed screen removed.
- Existing roof structure removed to create new dormer over get-in.
- Localised modifications to trusses within pitched roof void to accommodate new stair to technical gallery.
- Removal of existing roof over office. Roof level to be raised to suit new floor level.
- Localised roof penetration for new rooflight.
- Removal of roof as part of entrance frontage remodelling.
- New door opening onto technical gallery.



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P2	Client comments incorporated	LK/HG	02/06/2025
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236 Fleet Rd, Fleet GU51 4BY

DRAWING TITLE:
Demolition First Floor Plan - Option 2

DATE: 19/05/2025	SCALE: 1:200@A3
JOB NO: 1668	DRAWN BY: LK
DWG NO.: ZZ-01-DR-A-0212-OPT 2	CHECKED BY: HG
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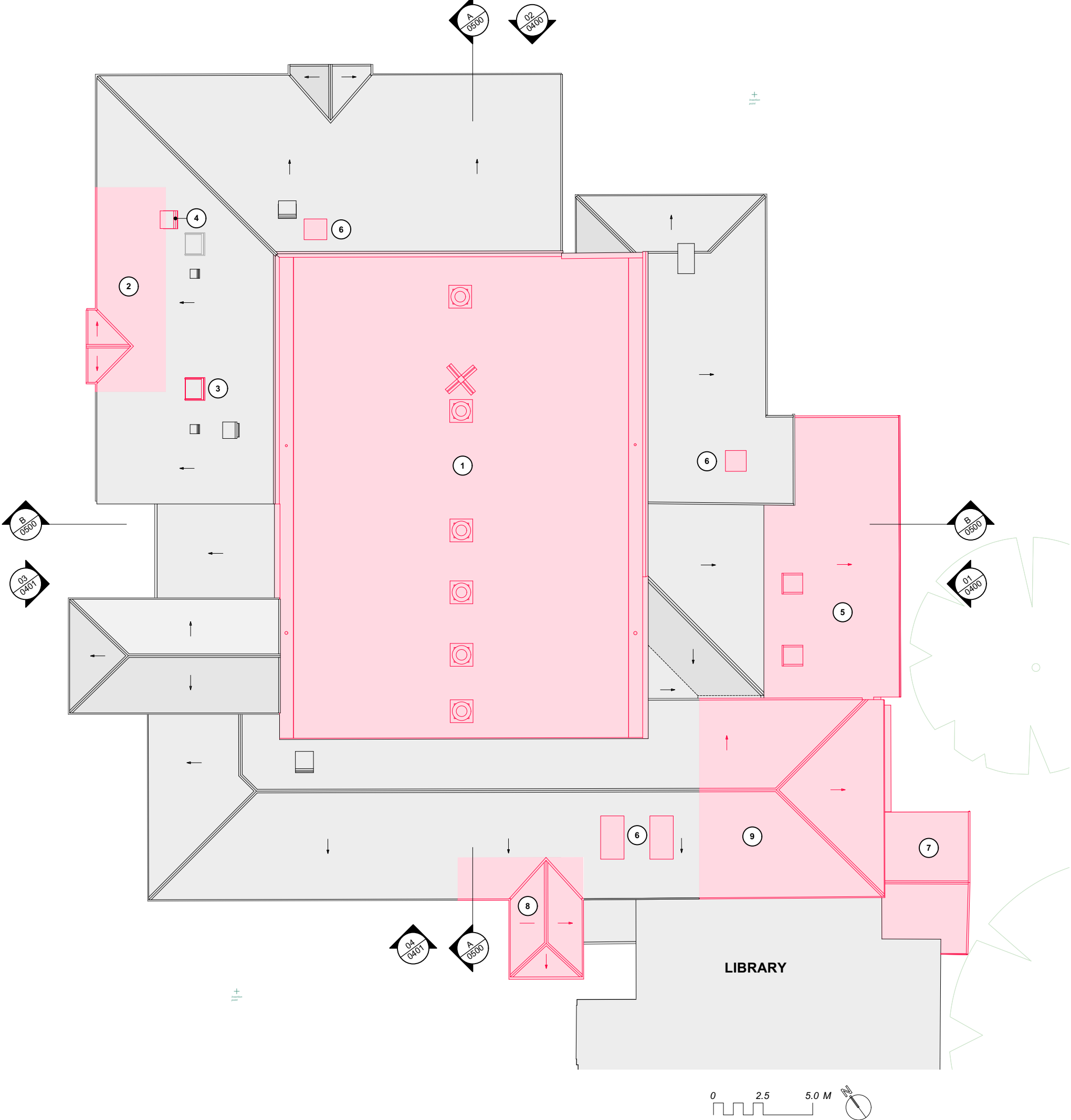
KEY

- Demolition of existing building fabric
- Retained existing building fabric
- Removal of existing flat roof covering
- Demolition of roof and associated structure

Floor finishes removed throughout. Ceilings removed throughout. Wall finishes stripped back (for redecoration). All sanitaryware removed (unless noted otherwise). All windows and doors (both internal and external) to be removed. All radiators removed.

Walls highlighted in red are fully removed (floor to soffit) unless the drawing specifically notes a door opening or a wall opening. Where windows and doors are removed, the structural opening is unchanged unless noted otherwise.

- Auditorium roof structure removed in its entirety (including glulam beams and roof joists)
- Existing roof structure removed to create new dormer over get-in.
- Rooflight removed
- Roof vent removed.
- Removal of existing roof over office. Roof level to be raised to suit new floor level.
- Localised roof penetration for new rooflight.
- Removal of roof as part of entrance frontage remodelling.
- Removal of pitched roof to existing lift shaft (but retaining the lifting beam supporting the lift car).
- Localised modifications to adjacent pitched roof to facilitate new stairwell connection.
- Eastern portion of hipped roof removed to enable creation of new taller studio space and remodelled building frontage.



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P1	First issued	LK/HG	02/06/2025
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DRAWING TITLE:
Demolition Roof Plan - Option 2

DATE: 29/05/2025	SCALE: 1:200@A3	
JOB NO: 1668	DRAWN BY: LK	CHECKED BY: HG
DWG NO. (JOB-ORIG-BLDG-LVL-TYPE-ROLE-SHEET NO.-OP.-REV.) ZZ-RF-DR-A-0215-OPT 2		
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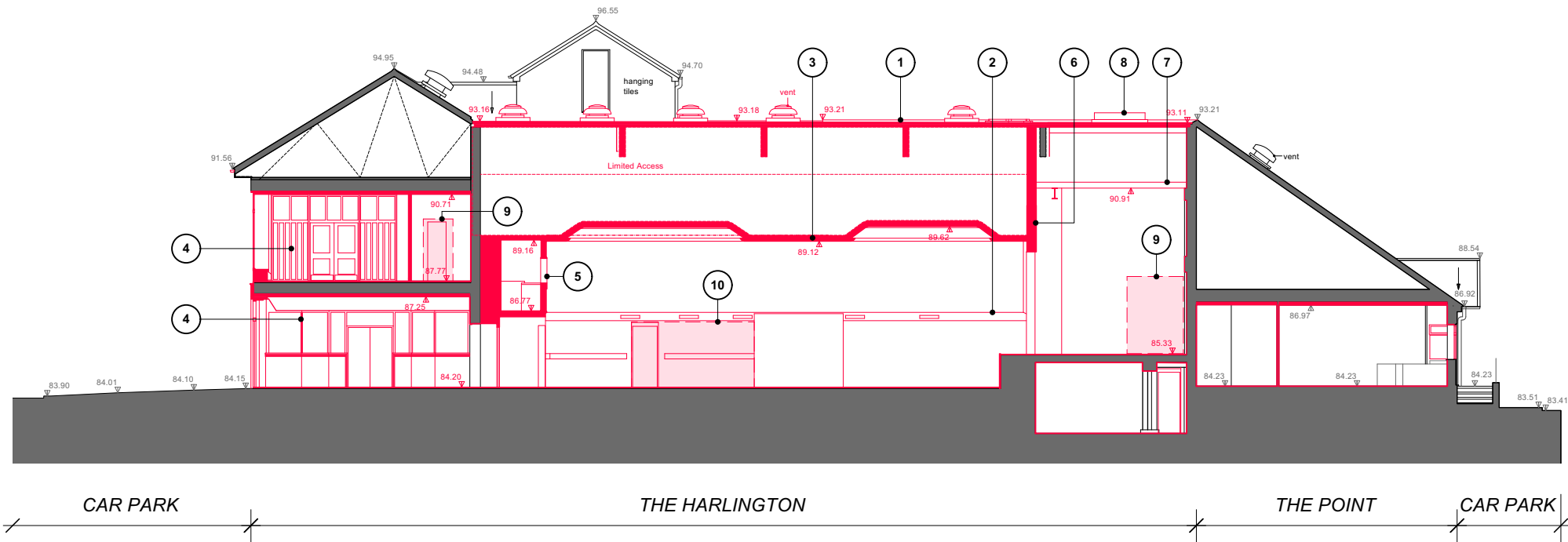
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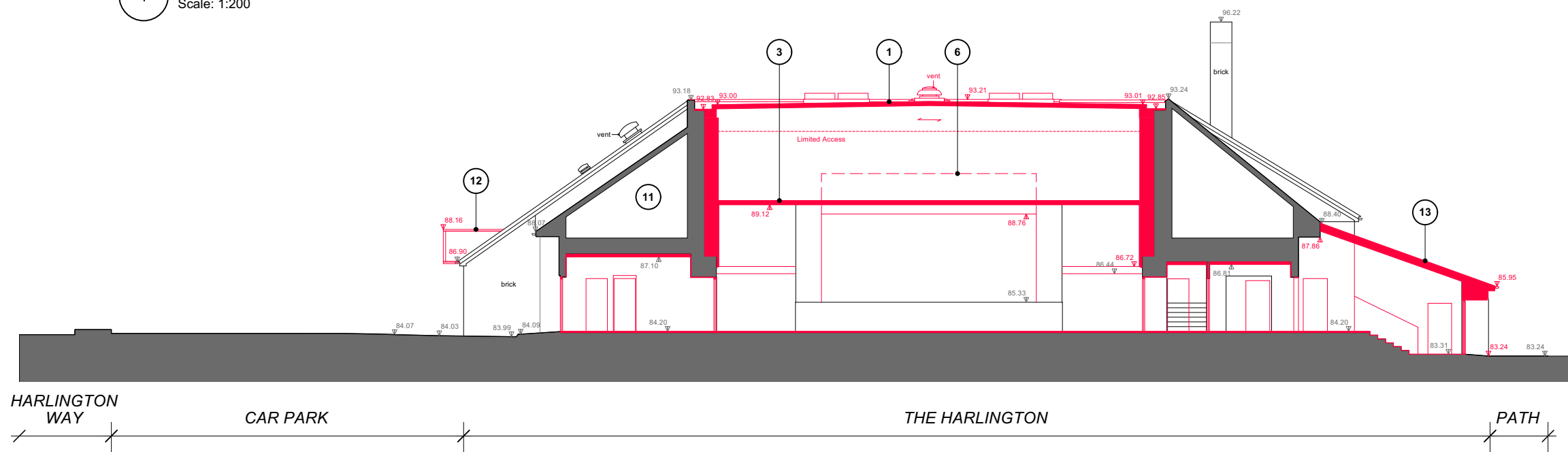
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1 Demolition Section AA
Scale: 1:200



2 Demolition Section BB
Scale: 1:200



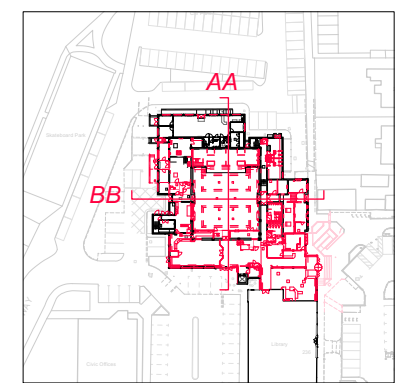
Demolition of existing building fabric
Existing building fabric

KEY

- Auditorium roof structure removed in its entirety (including glulam beams and roof joists)
- Removal of auditorium ventilation ductwork and associated wall linings.
- Demolition of existing auditorium suspended ceiling.
- Removal of existing internal glazed partition.
- Removal of existing storage and control room.
- Partial demolition of proscenium wall to facilitate increase in height and width of proscenium opening.
- Existing overstage steel grillage removed.
- Existing overstage smoke vents removed.
- New (or widened) door opening
- New wall opening spanned by lintel (or beam)
- Localised modifications to trusses within pitched roof void beyond to accommodate new stair to technical gallery.
- Localised removal of existing roof structure to create dormer over new stage-level get-in.
- Removal of existing roof over office.

NOTES

Floor finishes removed throughout. Ceilings removed throughout. Wall finishes stripped back (for redecoration). All sanitaryware removed (unless noted otherwise). All windows and doors (both internal and external) to be removed.



3 Key Plan
Scale: NTS

P3	For feasibility report	LK/HG	20/06/2025
P2	Client comments incorporated	LK/HG	30/05/2025
P1	First issued	LK/HG	22/05/2025
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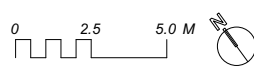
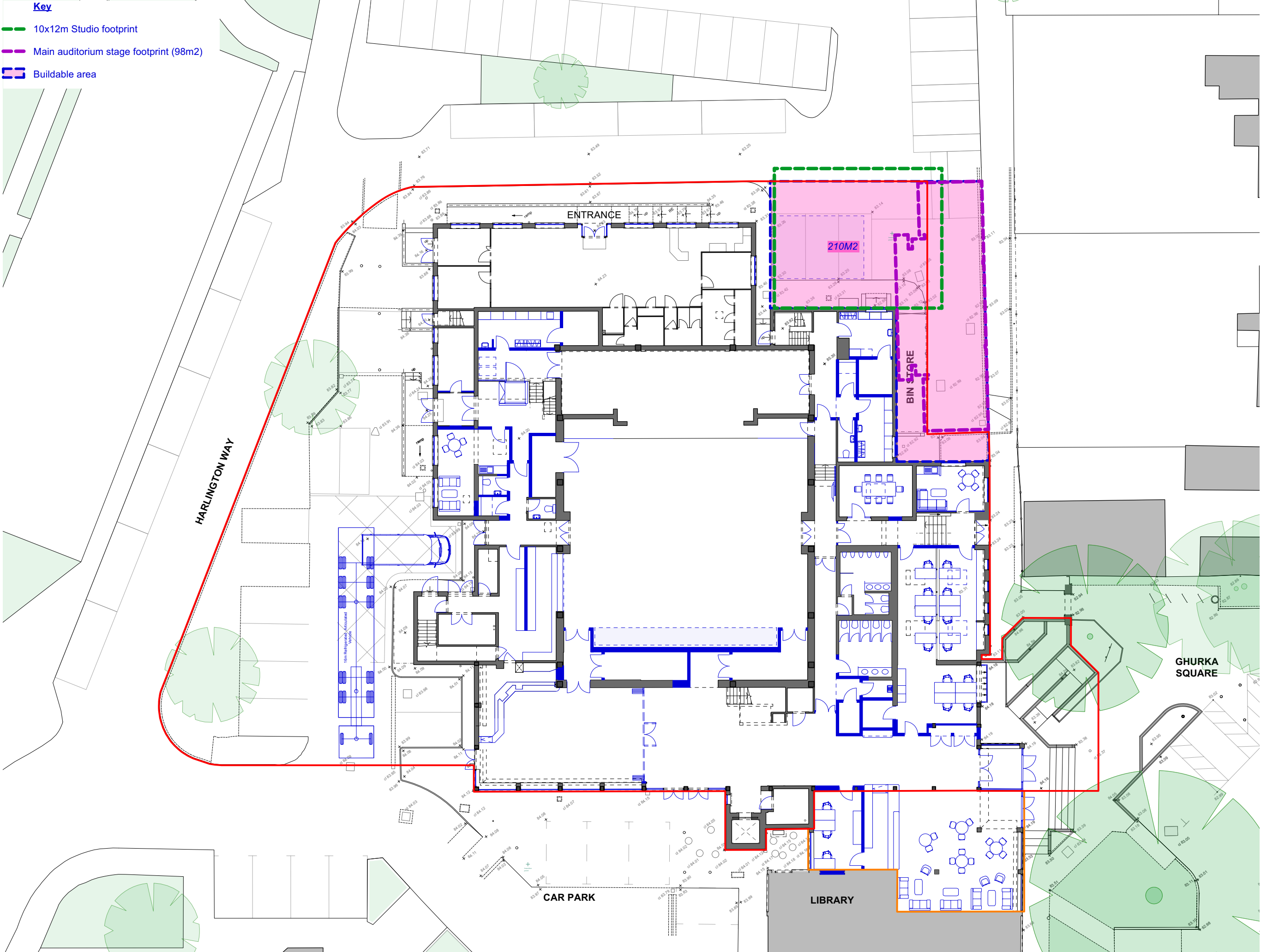
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DRAWING TITLE:
Demolition Sections AA & BB - Option 2

DATE: 19/05/2025	SCALE: 1:200@A3	CHECKED BY: HG
JOB NO: 1668	DRAWN BY: LK	
DWG NO. (JOB-ORG-BLDG-LVL-TYPE-ROLE-SHEET NO.-OP.-REV.) ZZ-ZZ-DR-A-0500-OPT 2		-P3
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Key

- 10x12m Studio footprint
- Main auditorium stage footprint (98m2)
- Buildable area



1 Proposed Ground Floor Plan
Scale: 1:250

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P1 First issue to the design team for information CR:RG 10/06/2025

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DRAWING TITLE:
Proposed Ground Floor Plan - Option 3A

DATE: 17/03/2025	SCALE: 1:200@A3
JOB NO: 1668	DRAWN BY: CR
DWG NO. (JOB-ORIG-BLDG-LVL-TYPE-ROLE-SHEET NO.-OP.-REV.) ZZ-00-DR-A-0201-OPT 3A	CHECKED BY: NP

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Key

10x12m Studio footprint

— Main auditorium stage footprint (98m²)

 Buildable area

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P1	First issue to the design team for information	CR/HG	10/06/2025
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Proposed Ground Floor Plan - Option 3B

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17/03/2025	1:200@A3

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Proposed Ground Floor Plan
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1